

MURPHY CREEK

DEVELOPMENT STANDARDS

CITY OF AURORA COLORADO

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TABLE OF CONTENTS

1.0	INTRODUCTION	1
1.1	Purpose and Intent	1
1.2	Community Theme	1
1.3	Relationship of the Development Standards to the Subdivision/Site Plans	2
1.4	Architectural Advisory Committee	2
2.0	RESIDENTIAL DEVELOPMENT STANDARDS	3
2.1	Minimum Site Planning Standards Matrix	3
2.2	Architecture	8
2.2.1	Architecture Standards Matrix	8
2.3	Single-Family Detached Homes - Large	11
2.3.1	General Requirements	11
2.3.2	Architecture	11
2.4	Single-Family Detached Homes - Medium	12
2.4.1	General Requirements	12
2.4.2	Architecture	12
2.5	Single-Family Detached Homes - Small	12
2.5.1	General Requirements	12
2.5.2	Architecture	12
2.6	Single-Family Attached - Duplex/Townhome	12
2.6.1	General Requirements	12
2.7	Traditional Neighborhood Design (TND) Standards	12
2.7.1	General Requirements	12
2.7.2	SFD Homes	13
2.7.3	SFA Duplex/Townhome	15
2.7.4	Office/Single Rental Units	15
2.7.5	Land Development Criteria	15
2.7.6	Vehicular Circulation Criteria	16
2.7.7	Architectural Style Criteria	16
2.8	Multi-Family Standards	16
2.8.1	General Requirements	16
2.8.2	Architecture	17
2.8.3	Garages	17
2.9	Active Adult Neighborhood	17
2.9.1	General Requirements	17
2.10	Group Homes	17
2.10.1	General Requirements	17
3.0	COMMERCIAL DEVELOPMENT STANDARDS	18
3.1	Commercial Standards Matrix	18
3.2	Commercial Standards	21

3 2 1	Objective	21
3 2 2	Administration	21
3 2 3	Prohibited Uses and 24-Hour Uses	21
3 2 4	General Requirements	21
3 2 5	Screening and Outside Storage	21
3 2 6	Parking Lot Layout and Circulation	22
3 2 7	Architecture	22
3 2 8	Lighting	25
3 2 9	Service Station Canopy	25
4.0	LANDSCAPE	26
4.1	Overall Landscape Standards	26
4 1 1	Tree Preservation	26
4 1 2	Wetland Requirements	26
4 1 3	Landscape Buffers	27
4 1 4	View Corridors	27
4 1 5	Parking Lot Landscaping and Screening	28
4 1 6	Building Landscaping	29
4 1 7	Plant Material Requirements	30
4 1 8	Plant List	31
4 1 9	Turf Regulations	31
4 1 10	Irrigation	31
4 1 11	Non-Living Materials	32
4 1 12	Service Areas and Trash Enclosures	32
4 1 13	Drive-Thru Windows	32
4 1 14	Fences and Fence Canyons	32
4 1 15	Detention, Retention, and Water Quality Ponds	32
4 1 16	Site Distance Triangles	33
4 1 17	Phasing	33
4 1 18	Common Open Space	33
4.2	Residential Development - Single-Family Detached (SFD)	33
4 2 1	Front Yard Landscape Requirements	34
4 2 2	Standard Streetscape Landscape Features	34
4.3	Residential Development - Single-Family Attached (SFA) and Multi-Family (MF)	34
4 3 1	Single-Family Attached and Multi-Family Landscape Requirements	34
4 3 2	Standard Streetscape Landscape Features	35
4.4	Commercial Development	35
4 4 1	Standard Buffer Strip Landscape Features at Non-Street Frontages	35
4 4 2	Standard Streetscape Landscape Features	35
4 4 3	Incentive Landscape Features for Standard Non-Street Frontages and Standard Streetscape Landscape Features	35

	4.4.4 Incentive Landscape Features	36
4.5	Landscape Standards Matrix	37
5.0	PROJECT SIGNAGE	38
5.1	Project Signage Standards Matrix	38
5.2	Project Signage Graphics	39
6.0	FENCING	40
6.1	Fencing Standards Matrix	40
6.2	Fencing Graphics	41
7.0	RETAINING WALLS	42
7.1	Retaining Walls Standards Matrix	42
7.2	Retaining Wall Graphics	43
8.0	SITE FURNISHINGS	44
8.1	Site Furnishings Standards Matrix	44
8.2	Site Furnishings Graphics	45
9.0	CIRCULATION SYSTEM DEVELOPMENT STANDARDS	46
9.1	Vehicular	46
	9.1.1 Objective	46
	9.1.2 Street Cross-Sections and Classification System	46
	9.1.3 Emergency Access	56
	9.1.4 Alleys	56
	9.1.5 Private Drives and Courts	56
	9.1.6 State Highway 30 Access	56
9.2	Pedestrian	56
	9.2.1 Objective	56
	9.2.2 Sidewalks	56
	9.2.3 Trails	56
9.3	Parking	57
	9.3.1 Off-Street Parking	57
	9.3.2 On-Street Parking	57
	9.3.3 Recreational Vehicles (R V)	57
10.0	AMENITIES AND OPEN SPACE DEVELOPMENT STANDARDS	58
10.1	Open Space Areas	58
10.2	Public 18-Hole Golf Course	58
11.0	GENERAL NOTES	60

APPENDIX

1	Key Map with Parcel Identification	i
2	Typical Home with "Use-Easement"	ii
3	Typical Home with Alley Access	ii
4	Typical Home with Street Access	iii
5	Typical Home Located on Living Lane (Common Private Drives)	iv
6	Traditional Neighborhood Design Features	v
7	Table 1: Minimum Landscape Buffer Widths for Commercial and Multi-Family Areas	vi
8	Table 2: Summary of Landscape Buffer Widths	vii
9	Table 3: Minimum Landscape Buffer Widths and Incentive Features at view Corridors	viii
10	Plant List	ix
11	Regional/Community Trail Adjacent to Old Tom Morris Road	xi
12	Project Signage - Main Entry Monumentation (East Side)	xii
13	Project Signage - Main Entry Monumentation (West Side)	xiii
14	Project Signage - Secondary Monumentation	xiv
15	Fencing Graphics	xvi
16	Retaining Wall Graphics	xviii
17	Site Furnishings Graphics	xix
18	Prototypical Commercial Area Landscape Strip	xx

1.0 INTRODUCTION

1.1 Purpose and Intent

Murphy Creek Community Development Standards are intended to establish regulations for the development of a master planned community within the City of Aurora, Arapahoe County, Colorado

Murphy Creek is a multiple use development focused around the existing Murphy Creek drainage area and a proposed 18 hole public golf course. The Murphy Creek drainage corridor offers a unique opportunity to the development. The golf course has been carefully designed to compliment the natural flood plain and wetlands. The structures around the creek will be carefully sited to maximize the scenic value of the golf course and the creek, as well as, to utilize the integrated open space system.

This document has been divided into two parts. Murphy Creek "standards" are the first part, and the "appendix" are the second part. The standards and appendix are regulatory and anything noted as a "guideline" is intended to give general policy direction. Both the standards and appendix will be incorporated as part of the Preliminary Development Plan.

1.2 Community Theme

Murphy Creek has been designed to include a variety of housing opportunities: conventional residential development including single-family detached (SFD) homes, single-family attached (SFA) units (duplexes and townhomes), and multi-family (Mf) condominiums and apartments; a Traditional Neighborhood Development (TND) including SFD homes; and an active adult neighborhood including SFD homes and attached homes. If a TND does not occur within a designated area, the neighborhood will be developed as conventional single-family detached residential with a minimum lot size of 6000 square feet and a minimum floor area of 1200 square feet.

Commercial development opportunities are located along Gun Club Road at the westerly portion of the development and at key intersections along Harvest Mile Road.

An 18-hole golf course will meander throughout the site, creating a series of neighborhood 'islands' surrounded or bounded by the golf course.

It is intended that Murphy Creek, the major drainage course through the development, will be preserved and enhanced by the construction of the public golf course.

The active adult community may be gated with controlled entries and private

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streets Murphy Creek will consist of both public access and public streets as well as, private drives/courts depending on the type of development. The road/access hierarchy has been designed to provide for safe neighborhoods, to reduce traffic speeds and to provide connectivity.

A variety of architectural styles will be allowed within the TND land use areas. These styles will provide diversity between neighborhoods and include, but are not limited to, styles such as Classical, Victorian, Colonial Revival, Coastal, Mediterranean, French, and Craftsman.

1.3 Relationship of Development Standards to the Subdivision/Site Plans

The Development Standards specify elements such as setbacks and criteria for the future installation and/or establishment of signage, parks and trails, and streets. The Development Standards define the location and character of development parcels, land uses, roadways, parks, and open spaces. These Development Standards will further describe the standards that all development within Murphy Creek will adhere to and the overall community theme. These Development Standards will be used by the City of Aurora in reviewing the Subdivision/Site Plans. The Development Standards may be modified administratively by the Planning Director or the City Manager based on individual circumstances.

1.4 Architectural Review Committee

All residential and commercial developments will be reviewed and approved by an Architectural Review Committee (ARC) prior to approval by the City of Aurora Planning Commission. The ARC will be as defined in the Declaration of Covenants, Conditions, and Restrictions (CCR's) filed at the County Clerk and Recorder's Office.

2.0 RESIDENTIAL DEVELOPMENT STANDARDS

2.1 Minimum Site Planning Standards Matrix

Category	Sub-Category	Single-family Detached			Single-family Attached		Multi-family		Traditional Neighborhood Design (T.N.D.)	
		Large	Medium	Small	Duplex	Town-home	Large	Small	SFD Homes	SFA Homes
Minimum Lot Size (See Note 8 Below)		9000 sq. ft.	6000 sq. ft.	Parcel 2 at 3850 s.f. Parcel 4 (alley-load only) at 3850 s.f., & all other parcels at 4000 s.f.	1560 sq. ft. if not fee simple lots		Min. project area - 43,560 sq. ft.		4000 sq. ft.	1560 sq. ft. if not fee simple lots.
Allowed Land Uses	Uses Allowed By Right	Single-family detached dwellings	Single-family dwellings and "use-ease-ment homes	Single-family attached duplexes	Single-family attached duplexes & town-homes	Multi-family condomini-ums	Multi-family apart-ments	Single-family detached dwellings	Single-family attached town-homes	
		Model homes with temporary real estate sales office; Private non-commercial recreational facilities; Golf Course, country clubs and related facilities; Clubhouses and/or Special District meeting places associated with recreational amenities; Residential care facilities for aged, developmentally disabled and mentally challenged individuals subject to special review criteria and provisions per City code; Accessory structures and uses necessary and customarily incidental to a permitted use; Day care homes.						Public libraries; Nursing or retirement homes; Residential care facilities for developmentally disabled and mentally ill persons subject to special review criteria and provisions per City code; Bed and breakfast residences.		

Category	Sub-Category	Single-family Detached			Single-family Attached		Multi-family		Traditional Neighborhood Design (T.N.D.)	
		Large	Medium	Small	Duplex	Town-home	Large	Small	SFD Homes	SFA Homes
Allowed Land Uses	Uses Allowed Subject to a Public Hearing	Public uses, including libraries.					Philanthropic institutions; Large child care centers; Parking of recreational vehicles (fully screened); Small rehabilitation centers; Personal service business; Retail entertainment services; Convenience retail (e.g. small convenience stores and neighborhood grocery stores). (These types of uses may not exceed 20% of the total floor area for residential uses).		Public uses, including libraries	
										Small rehabilitation center
		Churches and synagogues; Small child care center; Residential care facilities for people over 60 years of age								
Map Areas			1, 9, 10, 16, 20, 27, 28, 29, 30, 32, 33, 34 and 35	4, 5, 8 and 12		2, 6, 7, 11, 13, 17, 21, and 22	14 and 15	3 and 23 (may swing to Commercial), 18, 19, 24, 25, 26, 31, and 36	4, 5, and 8	

Category	Sub-Category	Single-family Detached			Single-family Attached		Multi-family		Traditional Neighborhood Design (T.N.D.)	
		Large	Medium	Small	Duplex	Town-home	Large	Small	SFD Homes	SFA Homes
Minimum Lot Width	At the street	55 feet	50 feet alley load garage and 55 feet front load garage	38 feet alley load garage; 40 feet rear garage; 45 feet front load garage	20 feet		N/A		38 feet alley load garage; 40 feet rear garage; 45 feet front load garage	
	At the front	55 feet	50 feet	38 feet	20 feet		N/A		38 feet	
	At cul-de-sacs or similarly curved streets and flag lots at the street	25 feet			20 feet		N/A		25 feet	
Maximum Building Height		35 - 45 feet (Max. ht. of any building shall not exceed 35 ft. where located on finished grades of less than 8%; and 45 ft. where located on finished grades in excess of 8%)				55 feet		35 - 45 feet (Max. ht. of any building shall not exceed 35 ft. where located on finished grades of less than 8%; and 45 ft. where located on finished grades in excess of 8%).		
Minimum Side Yard Setback		7.5 feet	5 feet		5 feet		N/A		5 feet	6 feet
Corner Lot Side Setback/Side of Building Setback from public local streets		10 feet				15' or equal to height of building whichever is greater		10 feet		
Setback from Arterials & Collectors (including side and rear yards)		25 feet - including landscape buffers, unless grading or site conditions require reduced setback with incentive features				25' or equal to height of building, whichever is greater		15 feet rear and 10 feet side plus required landscape buffer		
Minimum Rear Yard Setback (Decks may encroach up to within 8' of rear property line)		20 feet	15 feet		10 feet		25' to exterior property lines. Interior property lines to be determined, reviewed and approved by the City of Aurora Planning Department at time of Site Plan		15 feet	10 feet

Category	Sub-Category	Single-family Detached			Single-family Attached		Multi-family		Traditional Neighborhood Design (T.N.D.)	
		Large	Medium	Small	Duplex	Town-home	Large	Small	SFD Homes	SFA Homes
Setback of non-residential uses from adjacent residential districts		20 plus 6" of setback for each foot of height over 35' to a maximum of 35' as measured from property line of any residential district.								
Minimum Separation Between Residential Buildings		15 feet	10 feet			One-half the height of the taller of two opposing buildings, or 10 feet, whichever is greater.		10 feet		
Staggered House Setbacks		See SFD Residential Design Ordinance, Section 146 215.			N/A		N/A		See SFD Residential Design Ordinance Section	N/A
Front Yard Setback	Min. house setbacks from back of sidewalk of adj. street	At public streets with util. sidewalks	Front or side-loaded garage: 12 feet from back of sidewalk to house/porch building line, exclusive of garage walls			25' arterials, collectors, and locals (for public roads only)		Front or side-loaded garage: 12 feet from back of sidewalk to house/porch building line, exclusive of garage walls.		
		At public streets with all sidewalks	Front or side-loaded garage: 20 feet from back of sidewalk to house/porch building line, exclusive of garage walls.		Front or side-loaded garage: 15 feet from back of sidewalk to house/porch building line, exclusive of garage walls.		N/A		Front or side-loaded garage: 20 feet from back of sidewalk to house/porch building line, exclusive of garage walls.	Front or side-loaded garage: 15 feet from back of sidewalk to house/porch building line, exclusive of garage walls.

Category	Sub-Category	Single-family Detached			Single-family Attached		Multi-family		Traditional Neighborhood Design (T.N.D.)	
		Large	Medium	Small	Duplex	Town-home	Large	Small	SFD Homes	SFA Homes
Front Yard Setback	Min. house setbacks from back of sidewalk of adj. street	Setbacks from private drives and alleys without sidewalks will be established, reviewed, and approved by the City of Aurora Planning Department at time of Site Plan					N/A		Setbacks from private drives and alleys without sidewalks will be established, reviewed, and approved by the City of Aurora Planning Department at time of Site Plan	
	Min. garage & ancillary bldg. setbacks from back of sidewalk of adj. street	Side-load garages: 10 feet from back of sidewalk to garage side wall. Front-load garages: 20 feet from back of sidewalk to garage door					N/A		Side-load garages: 10 feet from back of sidewalk to garage side wall. Front-load garages: 20 feet from back of sidewalk to garage door	
		Side-load garages: 15 feet from back of sidewalk to garage side wall. Front-load garages: 20 feet from back of sidewalk to garage door					N/A		Side-load garages: 15 feet from back of sidewalk to garage side wall. Front-load garages: 20 feet from back of sidewalk to garage door	
		Setbacks from private drives and alleys without sidewalks will be established, reviewed, and approved by the City of Aurora Planning Department at time of Site Plan					N/A		Setbacks from private drives and alleys without sidewalks will be established, reviewed, and approved by the City of Aurora Planning Department at time of Site Plan	

Notes:

- 1 Off-street parking will be allowed to encroach within setbacks per approved Community Development Guidelines
- 2 Maximum height shall be 35' on finished grades of less than 8% and 45' on finished grades in excess of 8%
- 3 Any land use of a lesser density is allowed within parcels that are designated with a higher density
- 4 Parcels 14 and 15 may be combined for a shared land use and density
- 5 Neighborhoods designated as Traditional Neighborhood Design (T.N.D.) are allowed to have SFA land uses when combined densities do not exceed 6.10du/ac
- 6 Parcels 17, 18 and 19 may be developed as an Active Adult land use subject to the design standards.
- 7 Non-residential uses within the Multi-family areas can not exceed 20% of the total floor area of residential uses
- 8 Minimum lot sizes indicated include 225 sq. ft. when adjacent to a 6 ft deep tree lawn and 300 sq. ft. when adjacent to an 8 ft. deep tree lawn.
- 9 At no time shall the allowable units exceed those approved under the original Murphy Creek GDP of 3,839 units (without TND) and 4,132 (with TND) plus those units proposed under this PDP and subject to rezoning for Murphy Creek East
- 10 Parcels 3, 7, 13c, 15, 18, 19, 21, 23, 24, 30, 31, 32, 33, 34, 35, and 36 will require future rezoning prior to approval

2.2 Architecture

2.2.1 Architecture Standards Matrix

Category	Sub-Category	Single-family Detached			Single-family Attached		Multi-family		Traditional Neighborhood Design (T.N.D.)	
		Large	Medium	Small	Duplex	Town-home	Large	Small	SFD Homes	SFA Homes
Minimum floor area per dwelling unit excluding finished & un-finished basements, attics & garages.		1200 sq. ft.		1100 sq. ft.	900 sq. ft.		650 sq. ft.	550 sq. ft.	1100 sq. ft.	900 sq. ft.
Architectural Styles		N/A							See Section 2.7	
Porch Design		No porch dimension shall be less than 5 feet, measured to inside railing. Should a porch be present, the size of the porch must be a min. of 25 sq. ft.					N/A		See Section 2.7	
Min. % of Masonry ("Min net facade area" means total facade area exclusive of windows, garage doors & other doors. On front elevations, brick areas shall wrap around inside corners & return 2 ft. @ outside corners)	Elevations facing street	30% (Richmond's Seasons Project to have 100% masonry on the first story front elevation within Parcels 6, 7, and 11).					30%		See Section 2.7	
	Elevations facing golf course or public open space	30% of exposed basement exterior walls					30%		See Section 2.7	
	All other elevations	All masonry shall return to all inside corners on the front elevation and 2 feet minimum on all side elevations. On corner lots, masonry shall wrap around the corner to the wing fence.					30%		See Section 2.7	

Category	Sub-Category	Single-family			Single-family		Multi-family		Traditional Neighborhood	
		Large	Medium	Small	Duplex	Town-home	Large	Small	SFD Homes	SFA Homes
Architectural Details per style type (Details to be repeated on all four elevations)		N/A							See Section 2.7	
Required roof shapes or materials	Minimum quality roof material	Architectural dimensional composite shingles with a minimum 25 year warranty. (Richmond's Seasons Product to have tile roofs within Parcels 6 7 and 11)							See Section 2.7	
	Minimum roof pitch, rise to run per style	5 to 12							See Section 2.7	
Garage doors	Door orientation	See Single-family Detached Residential Design Ordinance. Section 146-215			N/A			See Section 2.7. A maximum of 15% of the garages may be a tandem arrangement per Section 2.7.		
	Min. garage required	Two-car			One-Car		Twenty (20%) percent of the total # of units shall have covered parking. Carports are allowed if constructed using materials equal in quality to the principle buildings. Garages shall incorporate roof types, slope, siding materials and colors which match the principle buildings.		Two-car, A maximum of 15% of the garages may be a tandem arrangement per Section 2.7	
									N/A	

Category	Sub-Category	Single-family			Single-family		Multi-family		Traditional Neighborhood	
		Large	Medium	Small	Duplex	Town-home	Large	Small	SFD Homes	SFA Homes
Garage doors	Max. % of garage door width to full width of elevation for two-car garages	45%			N/A		N/A		45%	N/A
	Max. % of garage door width to full width of elevation for three-car garages	53% with a minimum 2 foot off-set between single and double garage door			N/A				Three-car garage is only allowed when garage is detached/ attached in the rear or when attached in the front but in a tandem configuration	N/A

Notes:

- 1 Refer to the Landscape section for minimum landscape standards
- 2 Rear deck columns to be a minimum of 12 inches in width

2.3 Single-family Detached Homes - Large

2.3.1 General Requirements - All standards shall conform to the City of Aurora Single-family Detached Residential Design Standards Section 146-215

2.3.2 Architecture

a Menu of Required Design Elements - Single-family Detached Homes shall contain at least 6 of the following architectural features:

- 1 6/12 roof pitch
- 2 Garage door windows
- 3 Rear or side deck/concrete patio of at least 50 square feet.
- 4 Front door with at least one side light transom window or double door
- 5 Minimum habitable floor area (excluding unfinished garage attic, or basement space) of at least 2,000 square feet for Duplexes and 1,400 square feet for townhomes
- 6 Front or side porch with a minimum depth of 5 feet, and a minimum floor area of at least 50 square feet
- 7 Front or side porch with at least two columns of a minimum cross section of 8 inches.
- 8 Decorative shutters on at least 2 street-facing windows
- 9 At least one roof window dormer (A window dormer is defined as a windowed wall area flanked on both sides by sloping roof areas)
- 10 Walk-out basement
- 11 At least one bay window
- 12 At least two clerestory windows or window with transoms above the main window
- 13 At least a 16-inch roof overhang on the front elevation with decorative brackets, beams, or exposed rafter ends
- 14 Decorative material treatment on at least one gable end facing a street, i.e. vents
- 15 At least two special oversized decorative window heads or window sills on street-facing elevations
- 16 Real or simulated chimneys, i.e. roof-mounted
- 17 A home design where garage doors do not appear on the front elevation, i.e. side-load garages
- 18 At least 100 square feet of patterned paving on subject property
- 19 A front elevation area of brick, stucco, or stone veneer (or combination thereof) equal to at least 90% of the of the net front elevation wall area (excluding windows and doors)

2.4 Single-Family Detached Homes - Medium

2.4.1 General Requirements - All standards shall conform to the City of Aurora Single-family Detached Residential Design Standards Section 146-215

2.4.2 Architecture - Refer to section 2.3.2 above for architectural design elements

2.5 Single-Family Detached Homes - Small

2.5.1 General Requirements

a SFD - Small homes are usually a single-family detached home on a smaller lot. SFD - Small homes may be oriented to a "working professional" market which prefers a smaller yard with less maintenance. One way of achieving this is with a "use-easement" configuration. Refer to the Appendix for an example which can be used as a guide.

b All homes will meet the four (4) foot house stagger requirement. In addition, on all lots less than 5,000 square feet, one of the following scenarios will apply on 100% of the lots:

- Garage with street access located in the rear
- Side-loaded garage
- Four (4) foot recessed garage

c Refer to the Residential and Architectural Matrices for standards not addressed within this section.

2.5.2 Architecture - Refer to section 2.3.2 above for architectural design elements

2.6 Single-Family Attached - Duplex/Townhome

2.6.1 General Requirements

a Parcel 14 and 15 may be combined for an overall number of dwelling units not to exceed 360.

c Refer to the Residential and Architectural Matrices for standards not addressed within this section.

2.7 Traditional Neighborhood Design (TND) Standards

2.7.1 General Requirements - Diversity of housing type is encouraged within all Traditional Neighborhood Design (TND) land uses. Allowable land uses include single-family detached homes of varying densities and product types and single-family attached duplexes and townhomes.

a Should any of the parcels designated under the TND classification not be developed as TND, they will revert to SFD Homes at 40 dwelling units per acre with the appropriate SFD standards.

- b Potential TND areas include Parcels 4, 5, and 8
- c Parcel 4 is identified to develop with a combination of the following garage orientations:
 - (1) street access with detached/attached garage in rear
 - (2) front-loaded recessed garage
 - (3) alley-loaded garage
- d Parcel 5 is identified to develop with 100% recessed garages
- e Parcel 8 is identified to develop with garages accessed from a rear alley with the exception of the golf course lots which will consist of 30% recessed garages

2.7.2 SFD Homes

- a Alley Access - (Refer to the Appendix for graphic examples)
 - 1 Lots backing to golf course are exempt
 - 2 Garage setback to alley is either 4 feet or 20 feet in order to discourage angled parking
 - 3 Alley must be a minimum of 16 feet wide with 6" depth concrete
 - 4 Garages may be attached or detached
 - 5 Front porches are required on a minimum of 50% of all homes within this category. Size of porch shall be a minimum of 40 square feet with a minimum of 5 feet depth
 - 6 Public streets must have a 6 foot tree lawn with a 4 foot detached sidewalk
- b Street Access with Detached/Attached Garage in Rear - (Refer to the Appendix for graphic examples)
 - 1 Lots backing to golf course are exempt
 - 2 Garages may be front or side entry
 - 3 Front porches are required on a minimum of 50% of all homes. Size of porch shall be a minimum of 40 square feet with a minimum of 5 feet depth
 - 4 Public streets must have a 6 foot tree lawn with a 4 foot detached sidewalk
- c Street Access with Attached Garage (Front Entry) - (Refer to the Appendix for graphic examples)
 - 1 No more than 20 lots fronting along one side of a straight stretch of road
 - 2 Sharper turning radii on streets are encouraged for slower traffic speeds
 - 3 Garage must be recessed from the building mass on 30% of the units
 - 4 Front porches are required on 50% of all units. Size of porch shall be a minimum of 40 square feet with a minimum of 5 feet depth
 - 5 Public streets must have a 6 foot tree lawn with a 4 foot detached sidewalk
- d Street Access with Attached Garage (2-Car Tandem) - (Refer to the

Appendix for graphic examples)

- 1 No more than 15% of the total units may have the tandem garage orientation
 - 2 Homes with tandem garage orientations may not be located across the street from one another.
 - 3 Front porches are required on a minimum of 50% of all homes. Size of porch shall be a minimum of 40 square feet with a minimum of 5 feet depth.
 - 4 Public streets must have a 6 foot tree lawn with a 4 foot detached sidewalk.
- e Located on Living Lane (Common Private Drives) - (Refer to the Appendix for graphic examples)
- 1 No more than 8 lots on a single living lane. Six (6) lots are located along the common private drive and two (2) lots are located along the adjacent public local street.
 - 2 No front porches are required on the 6 units that are located internal to the living lane. Front porches are required on the two end units which are facing the public street. Size of porch on two unit facing street shall be a minimum of 40 square feet with a minimum of 5 feet depth.
 - 3 The front of the garage shall not exceed 45% of the total front building elevation.
 - 4 The Covenants must state that garages shall never be allowed to be converted into living space.
 - 5 Two-car garages are required with two tandem driveway parking spaces which may serve as guest parking.
 - 6 Windows on all privacy walls must have visual privacy for example, glass block or frosted glass.
 - 7 Common private drives may not exceed 150 feet in length.
 - 8 A fire hydrant must be located at the end of a court with no hammer head turn around.
 - 9 Pavement shall be constructed according to a pavement design approved by the City Engineer based upon a geotechnical investigation.
 - 10 Common private drives may not exceed a 6% grade.
 - 11 The cross section of the common private drives will be crowned with a mountable curb and gutter on both sides.
 - 12 The HOA will maintain the front yard landscaping and the common private drives. Individual driveways are excluded.
 - 13 Each home must provide a private yard space in the side yard (with use easement onto adjacent lot) or rear yard that is a minimum of 360 square feet in size with a minimum dimension of 18 feet by 20 feet.
 - 14 A minimum right-of-way width of 23 feet must be provided.
 - 15 The Covenants must address use rights regarding the 30' utility and access easement for the common private drive.

and will also be required to address rights regarding shared driveways

- 16 The Covenants must state that the storage of recreational vehicles is prohibited
- 17 Public streets must have a 6 foot tree lawn with a 4 foot detached sidewalk

2.7.3 SFA Duplex/Townhome

- i Located on Public or Private Drives/Streets
 - 1 Pavement shall be constructed according to a pavement design approved by the City Engineer based upon a geotechnical investigation
 - 2 Refer to Residential and Architectural Matrices for additional criteria.

2.7.4 Office/Single Rental Units

- a Office or Single Rental Units may be located within TND neighborhoods only.
- b The units may only be located above detached/attached garages and shall never be proposed in place of a garage
- c Office or Single Rental Units must be a minimum of 325 square feet and a maximum of 600 square feet

2.7.5 Land Development Criteria

- a Pocket Parks
 - 1 A minimum of one HOA pocket park must be included within each TND neighborhood
 - 2 Pocket Parks must be a minimum of 8,000 square feet
- b Signage
 - 1 Regulatory signs must be designed to compliment the neighborhood theme that is established and approved by the Planning Department at time of site plan
 - 2 Identity signage must be designed as a scaled down version of the main entry monumentation shown in the appendix of this document. Real estate "For Sale" signs are exempt
 - All signage will comply with the City Sign Code
 - Refer to Project Signage, Section 5.0 for additional information
- c Fencing
 - 1 If fencing is desired, it must be consistent with the fencing details shown in the appendix of this document
 - 2 All fencing will comply with the City's Fence Ordinance
 - 3 Refer to Fencing, Section 6.0 for additional information
- d Lighting
 - 1 Pedestrian and street lighting must be designed to compliment the neighborhood theme that is established and

- 2 approved by the Planning Department at time of site plan
Refer to Site Furnishings Section 8.0 for additional information
- c Landscape
 - 1 Refer to Landscape Section 4.0 for additional information

2.7.6 Vehicular Circulation Criteria

- a Access Locations
 - 1 Parcel 4
 - Provide one access to Mississippi Avenue
 - Provide one access to eastern collector street
 - 2 Parcel 5
 - Provide one access to western collector street
 - Provide one access to southern collector street
 - 3 Parcels 8
 - Provide one access to northern collector street
 - Provide one access to western collector street between the driving range and swim club
 - Provide one access to the eastern collector street between holes 17 and 18

2.7.7 Architectural Style Criteria - Refer to the Appendix, Item 6 for design features

2.8 Multi-family Standards

2.8.1 General Requirements

- a Parcels 14 and 15 may be combined for an overall number of dwelling units not to exceed 360
- b Building Siting - Multi-family dwellings shall be sited to take advantage of access to Murphy Creek. Buildings shall be sited to reinforce street edges, and provide privacy from other units and adjacent property
- c Setbacks - Building and parking setbacks shall meet the requirements of the Minimum Landscape Buffer Widths as outlined in Table 2, see Appendix
- d Amenities - Multi-family development shall provide at least three of the following amenities:
 - 1 clubhouse with recreational facilities, equipped with weight room and common area and kitchen facilities for meetings, receptions, parties, or similar activities
 - 2 pool
 - 3 tennis or multi-use court
 - 4 pedestrian/bike path serving open space
 - 5 Tot lot play areas
 - 6 BBQ picnic facilities
- e Parking - Parking shall meet the requirements of Section 146-1801

et seq of the Aurora Zoning Code

2.8.2 Architecture

- a Architectural elements - Facade articulation and architectural elements such as building breaks, changes in wall planes, gables, balconies, and varied architectural treatment must be used to avoid long, monotonous walls. All elevations must have windows.
- b Elevation Details - Pilasters, cornices, string courses, window sills, and lintels must be incorporated in the building facade, and must be constructed from brick, cast concrete.
- c Siding Materials - At least 30% of every net facade should be constructed of masonry. Windows and balconies are not counted in the calculation of the facade area. All siding material shall be of high quality, durable materials, such as, but not limited to, quarried stone, pre-cut stone, concrete stucco, and brick.
- d Roofs - All multi-family structures shall have sloped roofs at a minimum of five to twelve ratio of rise to run. At minimum, roofing material shall be a dimensional composition shingle with a warranty of 25 years. Slate, clay or concrete tile, or seamed metal roofs are preferred.
- e Mechanical Equipment - Screening mechanical equipment must meet City code.
- f Length of Buildings - No building should be longer than 225 feet.
- g Entrances - Entrances shall conform with the requirements outlined in the Commercial District, outlined in Section 3.1.7c.

2.8.3 Garages - At least 20% of the total number of units shall have covered parking. Garages may be detached. Carports are allowed if constructed using materials equal in quality to the principle buildings. The garages shall incorporate roof types, slope, siding materials, and colors which match the principle buildings.

2.9 Active Adult Neighborhood

2.9.1 General Requirements

- a Should Parcels 17, 18 and/or 19 be developed as an Active Adult Neighborhood, a private recreational amenity shall be provided within the Active Adult Neighborhood area, which at minimum shall include an outdoor pool and open space for picnic and community gatherings. Refer to Section 2.8.1d Multi-family Amenities of this document for amenity requirements.

2.10 Group Homes

2.10.1 Per City of Aurora Zoning Code

3.0 COMMERCIAL DEVELOPMENT STANDARDS

3.1 Commercial Standards Matrix

Category	Sub-Category	Mixed-Use/Office	Commercial/ Office - H	Commercial/ Office - H-1	P.D. Commercial	P.D. Commercial	
PDP Map Areas		5c and 11c	2c, 3c, 4c, 8c, 10c, 12c, and 13c	6c and 7c	9c	1c and 14c	
Allowed Land Uses	Uses Allowed By Right	Restaurants; tearooms, cafes and other places serving food or beverage; Professional business and administrative offices; Finance offices with drive-through facilities including banks and savings and loans; Small and large child care centers; and Medical and dental clinics					
		Outdoor swim & tennis club. Churches/synagogues or other places of worship. Private schools conducted for gain	Animal hospitals & clinics; Indoor retail or service businesses. Indoor recreational facilities which may be designated as integral parts of a center; Clubs, lodges, fraternal and service organizations; Parking lots.				
		Outdoor specialty uses, including sidewalk cafes that provide unique congregating places for sales and shopping interests; Cultural facilities such as a museum, theater or art gallery				Automobile washing & polishing; Ambulance service; Public uses; and Hotels & motels.	
			Public transportation terminals; Parking Buildings; Hotels & motels; Facilities for higher education; Governmental and public facilities	Studios, including television & radio, but excluding antenna towers; Theaters; Private schools conducted for gain; Personal service shops, such as barber, shoeshine, beauty parlor; Catering services; Telegraph office; Telephone office; Express office; Bakery; Confectionary shop; Dressmaking shop; Dying establishment; Laundry; Printer; Tailoring establishment; Upholstering establishment; Mortuary establishment; Office showroom; Membership warehouse. Wholesale, as an accessory use to a permitted use; Adult day care center; and Cellular phone transmission station subject to code restrictions			
		Drive-up facilities;					

Category	Sub-Category	Mixed-Use/Office	Commercial/ Office - H	Commercial/ Office - H-1	P.D. Commercial	P.D. Commercial	
Allowed Land Uses	Uses Allowed Subject to a Public Hearing	Outdoor recreational facilities; Any of the following uses which abut a residential zone and operate between the hours of 12:00 midnight and 6:00 am: retail business stores; Churches/synagogues or other places of worship.					
		Any permitted use operating between the hours of 12:00 midnight & 6:00 am abutting residential use. All indoor or outdoor recreational facilities other than a swim or tennis club; Public transportation terminals or parking lots; Governmental and public facilities; Drive up facility, as long as it is used as accessory use to the permitted uses in this section. Clubs and lodges; institutions for higher learning	Automobile service stations including bling stations		Motor vehicle repair garage; Motor vehicle fuel dispensing stations; new and used car sales; Restricted light industrial use; Plant and tree nurseries and greenhouses; Auto washing and polishing facilities; Small and large rehabilitation centers; Indoor shooting range; Ambulance service; Recycling collection facility; Dance floors accessory to restaurants; Simulcast facility for pari-mutual wagering		
					Substance abuse rehabilitation home; Public uses; Public utilities.	Kennel; New and used recreational vehicle, trailer or mobile home sales or rental lots; After hours club; Equipment rental business; Storage garages; Amusement enterprises including dance halls nightclubs bowling alleys skating rinks etc., and outdoor recreational facilities; Motor vehicle	

Category	Sub-Category	Mixed-Use/Office	Commercial/ Office - H	Commercial/ Office - H-1	P.D. Commercial	P.D. Commercial
Uses Prohibited		Any use not specifically listed is prohibited, including pawn shops and adult books and entertainment				
Minimum front setback		30' from property line unless the property line fronts on a major or minor arterial at which time the setback shall be 1:1, whichever is greater. Off street parking shall be permitted in the setback if it doesn't compromise the buffer of landscape			Refer to Table 1: Minimum Landscape Buffer Widths for Commercial and Multi-family Areas	
Minimum rear or side setback		20'	Adjoining residential units, the minimum shall be 25', or a 1:1 building height of setback ratio for heights in excess of 35'. Off street parking shall be permitted in the setback, but shall not intrude into landscaping or other buffering measures		Refer to Table 1: Minimum Landscape Buffer Widths for Commercial and Multi-family Areas	
Building setback		A minimum of 20' from all property lines, unless otherwise indicated.				
Landscape Buffer		A minimum 20' landscape strip shall be provided along Gun Club Road, Mississippi Avenue and Jewell Avenue or where abutting a residential zone district			20' minimum around all property lines	
Maximum building coverage		28% FAR	23% FAR		To be determined at time of Final Site Plan.	
Maximum building height		40 feet	45 feet		50 feet	75 feet

Notes:

- 1 The southeast corner at Gun Club Road and Mississippi Avenue (1c) is restricted to B-1 uses within 200 feet of the southern right-of way line of Mississippi Avenue.
- 2 A 50 foot building setback shall be required on each side of the Colorado Interstate Gas easement and the Public Service Company right-of-way easement.
- 3 Refer to Landscape matrix for minimum landscape area

3.2 Commercial Standards

- 3.2.1 Objective - All commercial developed pads shall be cohesive, master planned tracts with all areas sharing the same architectural and landscaping themes. Each commercial parcel shall be allowed to create their own identity within the overall theme established for the commercial areas at Murphy Creek. A palette of compatible roof types, materials, and colors shall be developed with the first Site Plan submittal. Both pads and anchor stores shall incorporate thematic materials, roof types, and colors.
- 3.2.2 Administration - All permitted uses in the Commercial zone are eligible to administrative Site Plan approval. Site Plans may be approved by the Planning Director if the development meets all the standards outlined in this section of the General Development Plan. If the development does not meet the standards, or has other issues which have not been solved to the satisfaction of City Staff, the project may be referred by the Planning Director to the Planning Commission for review at a public hearing.
- 3.2.3 Prohibited Uses and 24-Hour Uses
- a Prohibited Uses - Any use not specifically listed is prohibited, including pawn shops, adult books and entertainment. Given the compatibility of a proposed use, the Planning Director may determine if a proposed development may be considered as a permitted use.
- 3.2.4 General Requirements
- a Pad Layout -
 - 1 Pads shall not be sited to obstruct the view of the anchor stores; no more than one pad for every five acres of gross site area is allowed.
 - 2 Pads shall not be placed in the corners of the commercial bubbles.
 - b Phasing - Pad sites shall not be occupied before at least one anchor store is occupied (if applicable).
 - c Drive-Through - Drive through windows shall not face the street unless buffered to view corridor standards, as outlined in Table 3 in the Appendix. Sufficient stacking shall be provided for each drive through lane to prevent spill over into major circulation aisles.
- 3.2.5 Screening and Outside Storage
- a Loading Areas - Service and loading areas visible from residences or streets to be screened by fences, walls, landscaping, berms or any combination thereof.
 - b Trash Enclosures - Trash enclosures shall be shielded from view by placement within buildings, or by enclosure within opaque walls for fences a minimum of six feet in height. Trash storage

containers shall not project above the screen wall or fence. Wall and fence materials shall be identical to or compliment exterior building materials. Gates are required and should be constructed of vinyl coated chain link fence with tennis screen.

- c Outdoor Storage - Outdoor storage is not allowed unless it is completely enclosed by a wall which matches the thematic colors and materials of the development. Outdoor storage shall be clearly an accessory use and shall not exceed five percent of the floor area of the principle building. Rental equipment kept outside shall be considered outside storage.
- d Outdoor Display - Display of seasonal items is allowed only in areas designated as such on the Site Plan and shall not be used as display for living plants and related nursery items. Outside display shall not exceed five percent of the gross floor area of the business using the display; outside display shall meet the requirements of Section 146-1659 of the Zoning Code.

3.2.6 Parking Lot Layout and Circulation

- a Parking - Parking shall be in accordance with Section 146-1801 et seq. of the Aurora Zoning Code. Compact stalls are not allowed.
- b Stack - A stack of at least 80 feet in length shall be provided at the intersection of public streets and internal drives serving commercial areas; exceptions may be made by the Planning Director where less than full movement intersections are provided.
- c Vehicular Circulation - Provide safe vehicular circulation routes around the site using landscaped islands, street buffers, and buildings to define drive aisles.
- d Pedestrian Linkages - A pedestrian system shall be provided in neighborhood commercial development which links all uses, parking, and external sidewalks and/or trails. These sidewalks, which are at least six (6) feet wide, will be incorporated into landscaped islands and separated from drive aisles, parking and streets by a tree lawn at least eight (8) feet in width. Each parking block shall be served by a grade separated, detached sidewalk. Refer to Appendix, Item 18.
- e Bicycle Parking - Bicycle racks and parking shall be provided for every development. At least one bicycle parking space shall be provided for every 25 motor vehicle spaces on the lot. Bicycle racks will be distributed around the site, and should be separated from vehicular drives and parking lots by a three-foot separation distance or a curb or other physical barrier.

3.2.7 Architecture

- a General - The intent of the architectural standards is to create an overall theme for all the commercial development within Murphy Creek. Each commercial development is expected to create their own identity within the general framework of the architectural

theme. A palette of compatible roof types, materials, and colors shall be developed with the first Site Plan submittal. Both pads and anchor stores shall incorporate thematic materials, roof types and colors.

b. Facades - All architectural elevations shall be consistent from the front, rear and side elevations in terms of materials and design elements and articulation. Long, unarticulated facades shall be avoided by employing any combination of the following to create visual interest and shadow lines:

- 1 textured and/or patterned surfaces
- 2 projections of exterior building walls
- 3 recesses and reveals in exterior building walls
- 4 variations in color
- 5 window fenestration
- 6 roof overhangs (see also, Roofs, below) and changes in parapet height

c. Entrance - The entrance to the building shall be clearly defined. It shall be integrated into the building's design and architecture by using the following techniques:

- 1 The entry shall be pedestrian in scale and designed to encourage pedestrian movement.
- 2 Landscape areas shall be oriented and focused on the entrance.
- 3 The main entrance shall orient onto the main street(s).

d. Exterior Materials - All non-window and door areas shall be surfaced with at least one or a combination of the following materials.

- 1 face brick
- 2 stone
- 3 stucco
- 4 integrally colored, decorative concrete masonry units
- 5 other materials may be used as an accent feature and limited to no more than 5% of the building facade.

At least 30% of the net facade shall be masonry. Glass is also acceptable but will be considered on an individual basis; 100% glass curtain wall and highly reflective glass are prohibited. When stucco or synthetic stucco is a predominant wall surface material, it shall be used in conjunction with brick, stone, or integrally colored, decorative concrete masonry units. In any combination, stucco shall not constitute more than 80% of the non-window/door wall surface area. Integrally colored, decorative concrete masonry units may be used as an exterior wall surface, but shall contain decorative bands, columns, pilasters or patterns of a contrasting color and texture so as to avoid a monotonous appearance.

e. Colors - The colors black and charcoal and intense, bright or fluorescent shall not be used as a predominant wall color on buildings. These colors may be used as building accent colors, but

shall not constitute more than 10% of the area of each elevation of a building. All sign areas shall be excluded from this calculation. The calculation shall include the exterior surface area (as projected on a vertical plane) of any awnings attached to a building's elevations.

- f. **Roofs** - Roofs are to be a prominent and complimentary element of a building's architecture. Buildings with flat roofs shall be designed to create visual interest by using variations in parapet height. Pitched roofs shall be integrated into a building's architecture and used to accent its facade by identifying entrances, providing pedestrian arcades, etc. Large monolithic expanses of pitched roofs shall be avoided. Materials such as seamed architectural metals, concrete, clay, and/or slate tiles shall be used on all pitched roof surfaces. Internal roof drains are required.
- g. **Mechanical Equipment** - All rooftop mechanical equipment and vents greater than 8 inches in diameter must be screened using a method and materials integral to the architecture of the building. Screening may be done either with an extended parapet wall or a free-standing screen wall. Screens shall be at least as high as the mechanical equipment they hide. If equipment is visible because screens do not meet this minimum height requirement, the Director of Planning may require construction modifications prior to issuance of a permanent Certificate of Occupancy. When screening is necessary, mechanical screens shall be of a material and color matching the principal building.
- h. **Accessory Buildings and Fence Walls** - The design of all accessory buildings such as car washes, fences, and screen walls shall be consistent in terms of architectural style, materials, finish, and color with the architectural themes and materials established for the development.
- i. **Standardized Architecture** - Standardized architectural designs commonly employed by national/regional businesses, such as fast food restaurants and "chain" stores shall not be permitted.
- j. **Adjacent Development** - Where such an adjacent development contains existing buildings which exhibit a specific architectural theme or unity of materials, the design of buildings shall also incorporate such themes and materials. If an architectural theme is proposed for the entire non-residential tract, no such compatibility requirement shall be imposed.
- k. **Sides facing residential areas, golf course, open space, and/or public streets** shall incorporate "360 degree" design of architecture, i.e., every elevation of a building shall be architecturally "finished" to a similar degree. Refer to the Appendix Table 1 for Minimum Landscape Buffer Widths for Commercial and Multi-family Areas.
- l. **Paving Materials** - Colored high quality unit pavers, in pedestrian crossing, store entrances, and other critical pedestrian oriented areas of the development shall be required.

3 2 8 Lighting

- a Downcast Lighting - All lighting mounted on buildings or poles shall be downcast and without drop lenses. Buildings may be lit externally but only if the source of light is not visible from adjacent parcels or rights-of-way. Any wall pack shall be downcast and the lenses shielded.
- b Service Station Canopy Lighting - Lighting on the underside of canopies shall be flush with or recessed above the underside of the canopy surface. Canopy may not be externally lit. A fascia accent band of up to nine inches in width may be internally illuminated.
- c Internal Lighting - Internally lighted fascias or awnings are not allowed, except as outlined in "b" above.
- d Color Cast - Lighting shall include only color corrected high pressure sodium, mercury vapor, or metal halide to avoid excessive light color variety.
- e All exterior building floodlights and parking lot lights, except those required for security as provided herein, must be extinguished within one hour after the end of business hours and remain extinguished until one hour prior to commencement of business hours. For reasons of security, a maximum average level of five foot candles at entrances and loading docks and one foot candle on the rest of the structure, and thirty percent of the total lights used for parking lot illumination may remain in operation during such period.
- f Parking Lot Lighting - Maximum fixture height for pole mounted parking lot will be 25'. Maximum average foot candles for parking lot areas will be 2.
- g Pedestrian Lighting - Pedestrian and wall mounted fixtures will be compatible in form and color with both vehicular lighting and architectural features.

3 2 9 Service Station Canopy Design

- a All service stations shall meet City of Aurora Filling Station Design Standards.
- b The materials and forms on the fueling area canopy shall reflect those used on other structures on the site. This standard shall not be interpreted to require that fueling area canopy fascias be surfaced in brick or masonry.
- c Canopies shall be colored off-white, beige, or light earth tones.
- d Setbacks - Refer to City of Aurora Filling Station Design Standards for setback information.

4.0 LANDSCAPE

4.1 Overall Landscape Standards

- 4.1.1 Tree Preservation - When designing a site, desirable existing trees 4" caliper or greater shall be preserved, relocated, or mitigated according to policy. To begin the process, prepare a tree survey of all existing trees measuring 4" caliper or greater that will be impacted by development. In some cases, existing trees may be shown on the Site Plan in lieu of a tree survey.

Staff will inspect the impacted trees and prepare a tree preservation report. Each tree will be evaluated and recommendations will be made for preservation, relocation, and mitigation.

To complete the process, a mitigation table will be prepared and added to the landscape plan. The table shall include the following in caliper inches:

- a) Existing
- b) Excluded
- c) Removed
- d) Relocated or Remaining
- e) New
- f) Total

The City of Aurora Black Forest Tree Preservation Ordinance No. 98-88 will apply.

- 4.1.2 Wetland Requirements - The City of Aurora upholds requirements to mitigate existing Wetlands as they pertain to the Clean Water Act and the associated Army Corps of Engineers' 404 permitting process.

Wetlands are defined as areas having 1) hydric soils (in the area or close by if area has been under agriculture), 2) associated water-adapted hydrophytic plant materials, and 3) natural surface inundation of water for fifteen (15) consecutive days of the growing season or soils naturally saturated to the surface for twenty-one (21) consecutive days of the growing season. (all three must be present to meet the definition)

Existing Wetlands should be sustainable without the introduction of manually directed water, and are ideally created as a result of a high water table or flowing streams. Wetlands cannot be irrigated by manual or automatic means. The re-direction of a site's water to detention/retention areas in amount sufficient to maintain obligate plant species is allowable. Specification of required plant materials is covered in the 404 permit guidelines and are included with attached plant lists.

Wetlands shall be designed and maintained to present an aesthetically pleasing appearance. A maximum of fifty (50) percent of a site's landscaping may be committed to Wetlands.

4.1.3 Landscape Buffers

- a. General Information - The perimeter of all sites should be buffered with landscaped areas. Minimum buffer widths shall be measured inward from a site's property line; not from the edge of a sidewalk or curb.
- For commercial and multi-family uses, minimum buffer widths and incentive features may be found in Table 1 in the Appendix.
 - Landscape buffers pertaining to residential uses may be found in Table 2 in the Appendix.
 - A summary of landscape buffer widths may be found in Table 2 in the Appendix.
- b. Buffer Requirements - A description of Murphy Creek view corridors, buffer widths and incentive features may be found in Table 3.

Drainage ways should be incorporated visually into the development by using a landscape buffer, open fence styles and sensitive Site Plan design; they shall not be treated as the back doors of developments. See Table 3 in the Appendix for buffering and landscaping requirements.

4.1.4 View Corridors - View corridors in Murphy Creek are East Jewell Avenue, Gun Club Road, Yale Avenue, Mississippi Avenue, Harvest Mile Road and Murphy Creek Natural open space park systems. Since Commercial and Multi-family developments adjacent to these corridors are highly visible, a strong emphasis shall be placed on sensitive landscape treatments which will afford pleasant visual experiences from these corridors. See Table 3 in the Appendix for buffer widths, incentive features and buffer landscaping requirements for Commercial and Multi-family areas.

- a. Standard buffer strip landscape features at East Jewell Avenue, Gun Club Road, Yale Avenue, Mississippi Avenue, Harvest Mile Road and Murphy Creek natural open space parks.
1. Standard buffer width for Commercial and Multi-family areas shall be 25' minimum measured from the property line. See Table 3 in the Appendix.
 2. Plant a total number of trees and shrubs equal to one tree and 10 shrubs per 30 lineal feet of frontage. Trees shall consist of large deciduous shade tree species and large evergreen tree species. Number of evergreen trees must equal 50% of the total number of trees. Shrubs may consist of tall deciduous species and evergreen species planted a

- 2 Commercial - Provide one landscaped island for each twenty (20) (or portion of twenty) on-site parking spaces provided. Parking shall be arranged in blocks with individual blocks limited to 120 spaces. Blocks shall consist of six (6) rows of twenty (20) spaces each and shall be oriented to allow pedestrian movement down and not across rows. Blocks shall be separated by a ten foot landscaped buffer with the rows terminating at landscaped islands. Landscape islands shall comply with all requirements found in this section. Each single row island shall be a minimum of 171 (9' X 19') square feet and each double row island shall be a minimum of 342 (9' X 38') square feet. All islands shall be protected by concrete curbs and consist of one shade or ornamental tree, sodded berms (if wider than 12 feet) or under story shrubs. Plant shrubs to provide 100% coverage for each island.
- b Screening - Parking lots shall be screened from public right-of-way, public open space and adjacent property.
 - 1 Parking lot screening may include incentive features.
 - 2 Edges of parking lots must be screened from adjacent properties. They can be screened with berms and landscaping. Berm heights of two and one-half (2½) feet or greater with a maximum slope of 3:1 in combination with evergreen and deciduous trees and shrubs should be used. Screen planting requirements are shown below. Integrate screen plantings with incentive features and streetscape plantings when possible.
 - 3 Screening with low growing juniper species is not permitted. Shrub species must be chosen that will reach a mature height of four feet (4') at maturity. Fifty percent (50%) of the shrubs must be evergreen.
 - 4 Large shade trees and small tree and large shrub species must be used as accents throughout the screen planting to accentuate the horizontal lines of a typical shrub bed. If berms are not feasible, a dense planting of evergreen and deciduous trees and shrubs should provide equivalent screening. Parking lot screening should be integrated into adjacent buffers and street frontages. All spacing listed below are minimum allowable:
 - 1 Shrub species - 3 feet on center
 - 2 Evergreen trees - Locate in odd numbered groups with spacing between individual trees not to exceed 15 feet on centers

4.1.6 Building Landscaping - Buildings shall be landscaped according to the following standards:

- a Foundation landscaping is required when buildings are visible.

from public streets, view corridors, public open space, or residential neighborhoods. Five percent of the total landscaped area of a site shall be designated as building landscaping.

- b. Foundation landscaping must be installed in plant beds, raised planters, or in plant vaults covered by tree grates.
- c. Plant beds must be a minimum of 8' wide; planters, a minimum of 1' wide; and tree grates a minimum of 4' x 4'.
- d. All foundation landscaping must be watered by an automatic irrigation system.
- e. These plant groups are recommended for foundation landscaping. See the plant list for recommended species.
 - 1. A variety of deciduous flowering and evergreen shrubs with vertical and horizontal growth habits.
 - 2. Ground covers.
 - 3. Annuals, and perennial flowering species.
 - 4. Multi-stemmed and single trunk ornament trees, large shrub species.

- 4.1.7 Plant Material Requirements - Landscaping shall consist of trees, shrubs, ground covers, annual and perennial flowering species, turf grasses, mulches, and automatic irrigation. Landscape materials may also be used to define space and create visual interest. A plant list of recommended plant material may be found in the Appendix.

Select a variety of plant species including deciduous and evergreen trees and deciduous and evergreen shrubs should be chosen for seasonal interest.

All plant material shall be installed in the following minimum sizes:

- a. Shade trees - 2½" caliper
- b. Ornamental trees - 2" caliper
- c. Evergreen trees - 6' height minimum
- d. All shrubs - 5 gallon container
- e. Ground cover, annuals, and perennials - no restrictions

The following sizes shall be provided by non-residential projects along those property lines adjacent to residential uses, and by family detached residential uses:

- a. Large deciduous trees - 3" caliper
- b. Ornamental deciduous trees - 2½" caliper
- c. Evergreen trees - 8 to 10' height minimum
- d. Shrubs - same as above
- e. Ground cover/perennial - same as above

Thorny plant material shall not be located adjacent to public walks. Clear space above public walks shall be eight feet (8') or greater.

- 4.1.8 Plant List - A plant list of recommended plant materials may be found in the Appendix. Refer to Section 4.1.7 for minimum plant sizes.
- 4.1.9 Turf Regulations - In order to maintain green lawns during possible periods of water shortage, City Ordinance 80-47 [Sections 39-79 through 39-81] prohibits the open space in non-residential sites from having more than fifteen (15) percent of the site in Kentucky bluegrass. Residential areas cannot exceed fifty (50) percent of the landscaped area in Kentucky bluegrass. (The ordinance also requires the amendment of all turf area soils with a minimum of three (3) cubic yards per one thousand (1,000) square feet of lawn area. These materials are to be tilled to a depth of six (6) to eight (8) inches into the soil. Acceptable organic matters (excluding that from Colorado origin), or aged/treated manure's. Topsoil is not considered an acceptable organic matter.

Turf areas will be separated from planting beds wherever possible and irrigated as a high water-use zone according to Section 4.1.10, below. No turf shall be planted in parking islands, or in strips less than twelve (12) feet in width. Plantings of turf shall similarly be discouraged in areas around hydrants, tree trunks or above ground valves or utilities. Large areas of turf where no activity or pedestrian circulation occurs are discouraged. In place of these areas, mulched plantings are recommended to maintain a green and water efficient landscape. Where additional turf areas are desired, alternate turf species that tolerate circulation, extended drought, and/or provide for reduced maintenance requirements have been provided on the list.

- 4.1.10 Irrigation - Automatic irrigation is required for all developments.

Developments with large areas of restorative grasses shall provide irrigation for a minimum of three (3) years. However, permanent irrigation shall be provided for trees and shrubs within these areas.

The contractor shall achieve coverage of native grass greater than 75% of seeded areas with no bare spots greater than two (2) square feet. The establishment period shall be through the fall of second growing season. The owner shall reseed all areas not meeting the criteria for coverage at the end of the establishment period. In addition, the owner shall reseed any areas not showing significant signs of establishment at the end of each growing season as directed by the City.

If the development has common landscaped areas -- areas designated as tracts -- you must include area calculations for each specific area depending on water usage. To assess irrigation tap fees, the Utility Department has divided landscape tracts into water conserving landscaped areas (non-turf) and non-water conserving landscaped areas (turf) and non-irrigated areas (pavement, etc.). A table summarizing these areas

shall be provided on the landscape plan and will be utilized for assessing fees. Call the utility department to request a copy of the new ordinance Sec. 39-68 and Sec. 39-83 or for additional information.

Foundation landscaping in areas of expansive soils may be exempt from normal irrigation requirements upon submittal of a soils report.

- 4.1.11 Non-Living Materials - No greater than fifty (50%) percent of the required open space shall be covered with rock or other approved non-living materials. In addition, a minimum of fifty (50%) percent of the surface of these areas is required to be covered by living plant materials. Ground cover, perennials, shrubs, and evergreen trees shall be utilized for this calculation. At maturity, seventy-five (75%) percent of the required open space shall be covered by living plant material.
- 4.1.12 Service Areas and Trash Enclosures - Must be screened from surrounding properties. Buffer widths and landscaping requirements shall comply with criteria found in Table 1 of the Appendix.
- 4.1.13 Drive-Thru Windows - Shall be screened from adjacent properties as specified in Table 1 in the Appendix.
- 4.1.14 Fences and Fence Canyons - Fences are subject to requirements established by City Code, Section 146-1931, Fences along Arterials, Collectors, and Continuous Local Type 1 Streets. All single-family buffers are subject to this ordinance.
- 4.1.15 Detention, Retention, and Water Quality Ponds - Detention, retention, and water quality ponds shall be integrated physically, functionally, and aesthetically, into the total landscape design. Generally, vegetated slopes shall not exceed 3:1 and all pond turf areas shall be properly drained. Standing water, except in vegetated wetland areas, is discouraged other than in recirculating water features. Water quality enhancement areas within the bottom of the pond shall be planned with vegetation that is consistent with the presence of saturated soils, such as cattails or other appropriate vegetation.

Any mowed slope that is within the public right of way or proposed as part of a publicly maintained facility shall be no steeper than 4:1.

Pond grading should be designed to accommodate access for maintenance. Rockscaped or rip-rap slopes except when necessary for erosion control are discouraged.

Pond depth should generally be limited to not more than six (6) feet. When it has been determined by Planning that the aesthetics of a pond is important, retaining wall height shall be limited to 30 inches. Walls over 30 inches shall be terraced. The distance between terraced retaining walls

shall be a minimum of 3 feet to accommodate landscaping. Refer to Appendix Item 16 for additional information.

Retaining walls or head walls visible to the public shall be designed to incorporate architectural materials complementary to building or architectural design.

Landscape requirements for areas surrounding Detention, Retention, and Water Quality Ponds:

- a. Where Detention, Retention, and Water Quality areas abut a city street, adjacent frontage shall be landscaped according to criteria found in Section 4.4.2. The remainder of the surrounding area will be landscaped at one tree and 10 shrubs per each 4000 square feet of tract area. Public or private street frontage landscape may be counted towards the detention, retention, and water quality areas landscaping quantities.
- b. All other detention, retention, and water quality areas shall be landscaped at one tree and 10 shrubs per each 4000 square feet of tract area.

4.1.16 Site Distance Triangles - All site distance triangles as required by the Traffic Division of the Department of Public Works shall be shown. Plant material located within these triangles shall not exceed twenty-six inches (26") in height at maturity. If a berm is present, the height of the berm plus the mature height of the plant shall not exceed twenty-six inches (26").

4.1.17 Phasing - All future development phases within a site shall be seeded to prevent wind and water erosion for the time the site remains without development. An appropriate seed mixture should be chosen with seeding to occur in the spring of the year to take advantage of natural moisture. Seeding done outside of these periods shall have supplemental irrigation for establishment. All seeded areas shall be tilled, seeded, and mulched. Developers unsure of seeding mixtures and methods should confer with the Soil Conservation Service or CSU extension service.

4.1.18 Common Open Space - Landscaping in common open space areas will consist of trees and seeded or sodded turf. The number of shade or evergreen trees will be equal to one tree for each 4,000 square feet of area. Turf species will consist of drought tolerant species. Landscaping will be consistent with the development's thematic concept.

4.2 Residential Development - Single-Family Detached (SFD)

Landscape standards in this section are applicable for all parcels that develop with a single-family detached land use.

4.2.1 Front Yard Landscape Requirements - In order to insure a consistently pleasant experience for an entire community, the builder and/or developer is required to provide front yard landscaping for all homes in single-family developments. This landscaping will comply with front yard landscape standards as found in Section 146-215 of the City of Aurora Building and Zoning Code.

4.2.2 Standard Streetscape Landscape Features - The following landscape requirements shall be applicable for residential lands that are adjacent to private and public right of way:

- a. Plant a total number of trees equal to one tree per 40 lineal feet of public or private right of way. Street trees shall be counted toward front yard landscape requirements.

4.3 Residential Development - Single-Family Attached (SFA) and Multi-Family (MF)

Landscape standards in this section are applicable for all parcels that develop with single-family attached and multi-family land uses.

4.3.1 Single-Family Attached and Multi-Family Landscape Requirements

a. Planting Criteria - The perimeter surrounding each unit shall be landscaped with trees, shrubs, and annual and perennial flowers. Plant beds will be a minimum of 8 feet wide and shall consist of landscaping, mulch over weed barrier, edging when adjacent to turf, and automatic irrigation. Plantings shall be arranged to screen utility hardware and mechanical equipment, define entrances, screen headlights, and soften featureless walls.

Total number of plants at 1-15 plants for each 5 lineal feet of unit perimeter footage. Of which:

- 2. 5% shall be trees. A mixture of evergreen and deciduous trees shall be provided.
- 3. 15% shall be tall shrubs - greater than 6 feet at maturity.
- 4. 80% shall be shrubs. Shrubs shall include a mixture of evergreen and deciduous varieties for seasonal interest.

Perimeter calculations: Unit length + unit width x 2

Garage entrances shall be separated by a landscape strip 3' wide minimum. These strips shall be planted with living plant material according to requirements found in Section 4.1.14 Non-Living Plant Material.

Trees and/or tall growing shrub species will be located within shrub beds at building corners, primary entrances, and along

expanses of featureless walls

Common area: in Multi-family developments will be landscaped with a number of deciduous and evergreen trees equal to 20 trees per acre of landscape area

Trees that may not be included in common area calculations are:

- 1 Trees contained in plant beds that surround buildings and accessory structures
- 2 Street trees located in the right-of-way
- 3 Shade and ornamental trees that are planted in parking lot islands

- 4.3.2 Standard Streetscape Landscape Features - The following landscape requirements shall be applicable for all lands that are adjacent to private and public right of way:
- a Plant a total number of trees equal to one tree per 40 lineal feet of public or private right of way. Street trees shall be counted toward front yard landscape requirements.

4.4 Commercial Development

Landscape standards in this section are applicable for all parcels that develop as a commercial land use

- 4.4.1 Standard Buffer Strip Landscape Features at Non-Street Frontages
- a Buffers adjacent to non-residential areas - Provide a total number of trees and shrubs equal to one tree and five shrubs for each 40 lineal feet of buffer (fractional requirements to be rounded up)
 - b Buffers adjacent to residential areas - Provide a total number of trees and shrubs equal to one tree and five shrubs for each 25 lineal feet of buffer (fractional requirements to be rounded up). Buffers shall include a mixture of shade and evergreen trees, with evergreens constituting a least 50% of the total number of trees.
 - c Additional requirements for both residential and non-residential areas - Buffers may be landscaped with a combination of turf and mulch. Total mulch areas for each buffer may not exceed 50% of the buffer area. Mulch areas shall be landscaped with plant material covering 50% of the mulch area at installation, and 75% at the time of maturity. Shrubs, perennials, and evergreen trees may be counted as coverage of mulch areas; deciduous tree canopies may not be counted
- 4.4.2 Standard Streetscape Landscape Features - Commercial development will be required to comply with the new street cross sections for street trees
- 4.4.3 Incentive Landscape Features for Standard Non-Street Frontages and

Standard Streetscape Landscape Features - Minimum buffer widths are provided in Table 1 in the Appendix

- a Berms
- b Plant material upgrades
- c Low decorative masonry or stucco wall
- d High decorative masonry or stucco wall
- e Low landscaped hedge
- f Tall landscaped screen

4.4.4 Incentive Landscape Features - Incentive landscape features standards are in addition to the standard landscape features required of all developments. The number of trees provided by the Tall Screen feature listed below may also be counted as fulfilling the standard requirement for minimum tree counts.

- a Landscape Berms - Where landscape berms are provided, their slopes shall not exceed a ratio of one foot of rise for every three feet of run. Where fences or walls are combined with berms, such features shall be placed at the top of the berm. (See Table 1, Row 2)
- b Low Landscape Hedge - Incentive features hedges shall be composed of evergreen or deciduous shrubs which will reach a minimum mature height of 3 feet and are planted a minimum of 36 inches on center. (See Table 1, Row 3)
- c Tall Landscape Screens - Incentive feature tall landscape screens shall consist of:
 - (a) a row of upright junipers planted 8 feet on center; or (b) a row of evergreen trees not to exceed 15 feet on center planted in a minimum 15 feet wide buffer strip; or (c) a mixture of evergreen shrubs planted 36 inches on center and deciduous trees planted 40 feet on center or evergreen trees planted 25 feet on center. (Table 1, Row 7)
- d Low Masonry Wall - Incentive low walls shall consist of walls 2½ to 3 feet in height, faced with stucco, brick, or integrally colored decorative masonry block, to match or blend with the materials used on other site buildings. (Table 1, Row 6)
- e Upgraded Minimum Plant Sizes - Incentive size upgrades shall consist of the following minimum sizes. (Table 1, Row 4): (a) Shade trees at 3½" caliper; (b) Ornamental trees at 2½" caliper; and (c) Evergreen trees at 10 foot height.

4.5 Landscape Standards Matrix

Category	Sub-Category	Murphy Creek	Murphy Creek - Traditional Neighborhood Design (T.N.D.)	Murphy Creek - Mixed Use/Office	Murphy Creek - Commercial/Office	Murphy Creek - P.D. Commercial
Landscape Responsibility		Must meet all landscape requirements of Aurora's Single-Family Detached Residential Standards Ordinance Section 146-215 and installed by owner and/or builder			All common areas shall be landscape by the builder	
Timing		Front yard landscaping must be installed prior to issuance of Certificate of Occupancy. Landscape installation in accordance with the approved plan must be installed by the owner and/or builder within 90 days of purchase, unless purchased in the fall or winter, in which case the 90 day time period begins March 1st.				
Landscape Maintenance		The HOA will have maintenance responsibility for all common areas. Individual lot owners will be responsible for their own lot.				
Landscape Area		Residential site plans = 45%, Non-residential uses in a residential zone = 30%. These percentages include private landscaped areas, playgrounds, recreation areas, plazas and open air atriums. The percentage required for residential site plans also includes interior circulation used exclusively for pedestrians. These percentages are calculated from the area within the property lines as shown on the site plan. Although the owner is responsible for landscaping and maintaining public rights-of-way adjacent to projects, these areas may not be included in the open space percentage. Parking lots, vehicle and equipment storage areas, service areas and roads are excluded from these percentages.		Non-residential site plans = 15%. See previous note.	Non-residential site plans = 20%. See previous note.	Non-residential site plans = 15%. See previous note.
Common Open Space (may be counted towards overall landscape area requirements - see above)		At least 20% of the site shall be common open space which can be used by all residents of the single-family attached and multi-family developments. Detention ponds may be used to meet common open space requirements if they are landscaped and can effectively be used for recreational activities.				
Land Dedication	Parks	Refer to GDP for Park acreages and locations.				
	Schools	Refer to GDP for School acreages and locations.				

5.0 PROJECT SIGNAGE

5.1 Project Signage Standards Matrix

Category	Sub-Category	Murphy Creek	Murphy Creek - Traditional Neighborhood Design (T.N.D.)	Murphy Creek - Mixed Use/Office	Murphy Creek - Commercial/Office	Murphy Creek - P.D. Commercial
Theme		Refer to the Appendix for residential signage and monumentation theming		A sign program for all commercial parcels is required before first commercial site plan is approved. The sign program shall establish the size, placement, lighting, color and material standards for project signage.		
Design Elements		Series of brick wall elements with decorative columns and caps.				
Materials		Brick and precast concrete				
Main Entry Signage		Signage is located at main entries along East Jewell Avenue and Gun Club Road.				
Secondary Signage		Located at specific neighborhood entries. Several different designs have been developed in order to provide variety and individuality for each neighborhood while maintaining a sense of unity throughout the community.				
Directional and Information Signage		Directional signage will be located in key areas to help guide visitors. Street signs will be of standard regulatory size.				
Signs for Tenants	Over 20,000 sq. ft.			Maximum 42" high letters		
	10,000 sq. ft. - 19,999 sq. ft.			Maximum 36" high letters		
	Less than 10,000 sq. ft.			Maximum 30" high letters		

Notes:

- 1 All lettering on Commercial signs shall be in individual pan channels
- 2 Commercial monument signs shall be no higher than 8 feet.
- 3 Square feet number of signs controlled by the Aurora sign code.
- 4 Size, height and design of signs are subject to review at time of Site Plan

5.2 Project Signage Graphics

Refer to the Appendix at the end of this document for graphics

6.0 FENCING

6.1 Fencing Standards Matrix

Category	Sub-Category	Murphy Creek	Murphy Creek - Traditional Neighborhood Design (T N D.)	Murphy Creek - Mixed Use/Office	Murphy Creek - Commercial/ Office	Murphy Creek - P.D. Commercial
Boundary Perimeter Fence	Open Style Fence	Located anywhere residential lots back to open space. A PVC fence design is shown in the Appendix (Item 15). Open style PVC fence (beige, grey and/or white - see note 4) may include wire mesh. (Max. ht = 4 feet)		Chain link fences are prohibited. Decorative metal PVC, and wood fences are allowed (Max. ht. = 6 feet)		
	Screen Fence along Public Rights-of-Way	Located anywhere that residential lots back to public rights-of-way. A PVC fence design is shown in the Appendix (Item 15) and it will incorporate elements such as, brick columns top and bottom rails balfens, and caps. Columns will be located at the neighborhood entries. Fence color may consist of beige, grey, and/or white - see note 4. Standard 6' privacy fences consisting of 4 to 6 inch dog eared slats without additional detail will not be allowed. (Max ht = 6 feet)				
	Decorative Fence	Located anywhere fencing is needed around commercial or residential buildings for safety and/or aesthetic reasons. It may range in height from 36" to 72" and will be comprised of materials consistent with the signage (Max ht = 6 feet)				
Interior Lot Line Fencing		Located anywhere residential lots join directly with other residential lots. A PVC fence design is shown in the Appendix (Item 15). Open style PVC fence (beige, grey, and/or white - see note 4) may include wire mesh (Max ht. = 4 feet) Privacy screens enclosing patio areas are permitted at a height not to exceed 5 feet. Refer to the standard fence design in the Appendix (Item 15).				
Golf Course Fence		Located anywhere residential lots back to the golf course. Open style PVC fence (beige, grey and/or white - see note 4) may include wire mesh (Max. ht. = 4 feet).				

Notes:

- 1 Fences are subject to requirements established by City Code, Section 1-16-1931 Fences along Arterials, Collectors, and Continuous Local Type 1 Streets
- 2 Metal fencing does not include chain link fence
- 3 Perimeter fencing shall comply with the City's Fence Ordinance
- 4 PVC fencing may be beige, grey and/or white. The color selections shall be coordinated with and agreed to by the developer and the golf course director

6.2 Fencing Graphics

Refer to the Appendix at the end of this document for graphics

7.0 RETAINING WALLS

7.1 Retaining Walls Standards Matrix

Category	Murphy Creek	Murphy Creek - Traditional Neighborhood Design (T.N.D.)	Murphy Creek - Mixed Use/Office	Murphy Creek - Commercial/Office	Murphy Creek - P.D. Commercial
Retaining Walls	Retaining walls will be a maximum of 30 inches. Where more grade-uptake is required, it will be constructed of several walls of a maximum height of 30 inches. Each wall may be separated by a horizontal distance of no less than 3-feet. All terraces between walls will be landscaped.				
Walls for Commonly Owned Tracts	Where retaining walls are required or accent walls are desired they will be constructed of materials consistent with the signage. No wood retaining walls will be allowed in commonly owned tracts. Wall surfaces will be articulated using columns or breaks at a 30-foot minimum. Walls will be installed by the developer.		Walls must be constructed with materials that are complimentary to the style of adjacent buildings incorporating the same finishes and colors.		
Walls for Privately Owned Tracts	Where retaining walls are required or accent walls are desired, landscape timbers, as a minimum treatment, is an acceptable material. Wall surfaces will be articulated using breaks at a 30-foot minimum. Walls will be installed by the owner and/or builder.				

7.2 Retaining Wall Graphics

Refer to the Appendix at the end of this document for graphics

8.0 SITE FURNISHINGS

8.1 Site Furnishings Standards Matrix

Category	Murphy Creek	Murphy Creek - Traditional Neighborhood Design (T.N.D.)	Murphy Creek - Mixed Use/Office	Murphy Creek - Commercial/Office	Murphy Creek - P.D. Commercial
Lighting for Entry Features	Lighting located at entries will be recessed up-lighting or decorative accent lighting which will cast a soft indirect light on the signage				
Street Lights	Street lights may be placed at major intersections and key locations and will be installed by the developer. Fixtures will be specified at time of Site Plan.				
Benches, Trash Receptacles Bicycle Racks Drinking Fountains, Bollards etc	These elements are appropriate in areas where heavy pedestrian traffic is anticipated. Site furnishings will be made of high quality materials and will complement the materials used throughout the community. Details will be provided at time of specific Site Plans				
Mailboxes	All mailboxes will meet USPS standards. Refer to the Appendix for additional information.				

Notes:

1. All site furnishing detail shall be provided at time of site plan as applicable.

8.2 Site Furnishings Graphics

Refer to the Appendix at the end of this document for graphics

9.0 CIRCULATION SYSTEM DEVELOPMENT STANDARDS

9.1 Vehicular

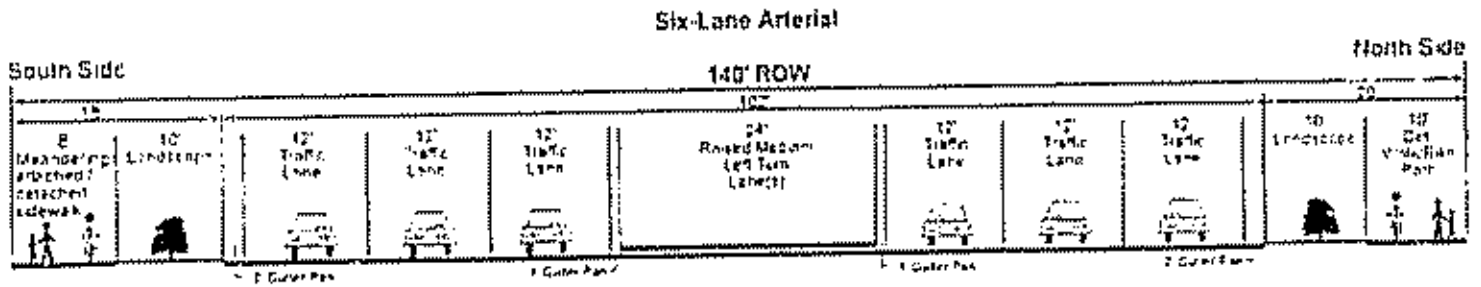
- 9.1.1 Objective - The circulation and road patterns of the development are planned to provide good access, privacy and safety for the neighborhoods. E-470 will be located approximately ½ mile west of the site. Collector roads proximate to E-470 will serve office, commercial and multi-family uses in this area. A proposed grade separated interchange of E-470 with East Jewell Avenue to the west will provide convenient access to the property. East Jewell Avenue (140' R.O.W.), Gun Club Road (140' R.O.W.), Yale Avenue (110' R.O.W.), Mississippi Avenue (110' R.O.W.) and Harvest Mile Road (110' R.O.W.) will provide arterial access to this site. Service and retail centers will be located exclusively within the influence areas of these roads and therefore through traffic will not need to penetrate the circulation system within individual island neighborhoods. The system will be safe for residents and the working and traveling public while remaining responsive to environmental concerns and emergency traffic needs.

The internal road system for Murphy Creek is based on a hierarchy of street types. Public streets will be designed to provide access from adjacent arterial streets to individual residential villages or 'islands' surrounded by the golf course. SFD homes, duplexes, townhomes, multi-family residential and commercial tracts may be served internally by public streets or by private drives and courts.

- 9.1.2 Street Cross-Sections and Classification System - The street cross-section and classification system at Murphy Creek is a combination of old standards, new standards, and a hybrid of the new standards. The collector and arterial streets shall follow the street standards as approved on the GDP and as detailed below, with the exception of Old Tom Morris Road/East Louisiana Avenue which is detailed in the Appendix, Item 11. The local streets north of East Jewell Avenue which have been designed as of the approval of these standards will be constructed as a hybrid of the new street standards. The hybrid will consist of the following changes:
- a. The pavement width of the streets will be per the new City standards.
 - b. A four (4) foot detached walk will replace the standard requiring a five (5) foot detached walk.
 - c. A six (6) foot tree lawn will replace the standard requiring an eight (8) foot tree lawn.

The following cross-sections are included to depict the hybrid streets:
 a Arterial Street Sections

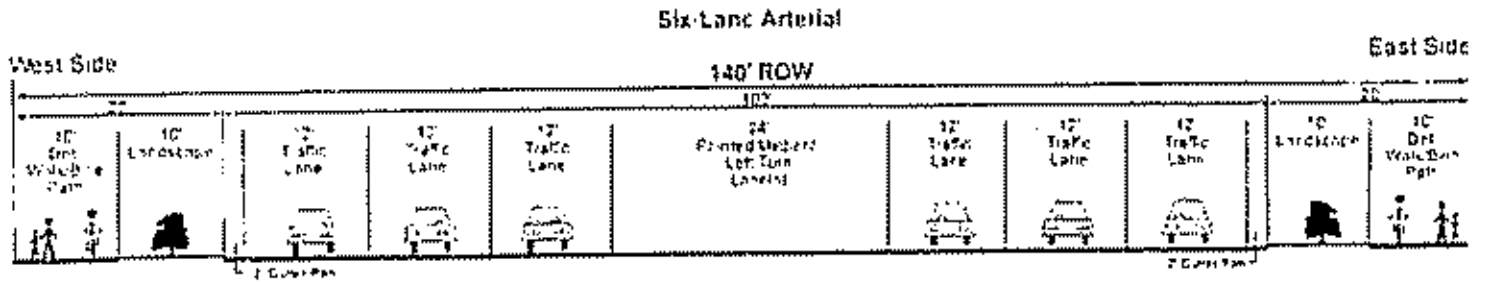
1 East Jewell Avenue (140' R O W)



Construct full road section
 lanes to be determined by the city

JEWELL AVENUE

2 Gun Club Road (140' R O W)

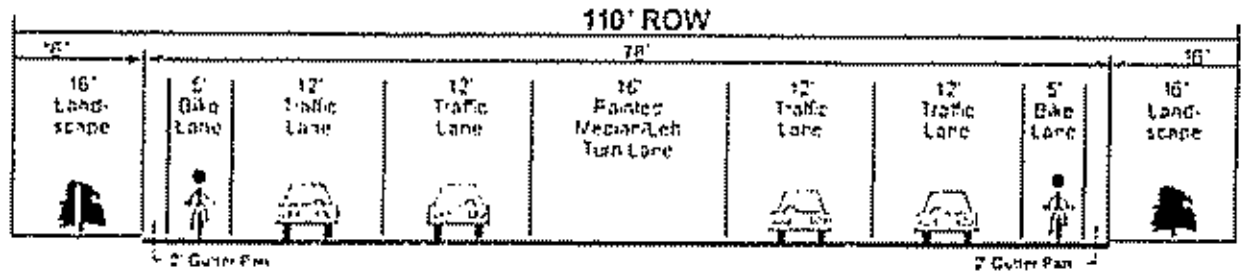


- Construct only east 1/2 road section
- lanes to be determined by city

GUN CLUB ROAD

3 Gun Club Road - Connector (110' ROW)

Four-Lane Arterial with Painted Median

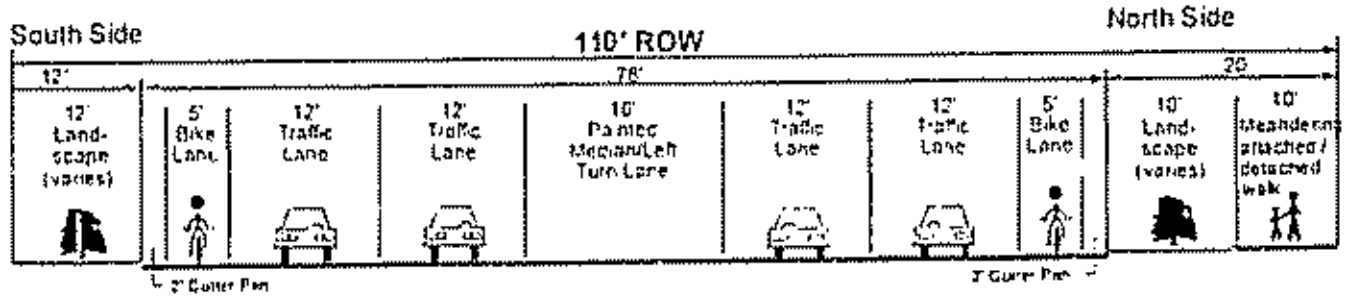


- * construct full road section
- * 2 lanes each direction

GUN CLUB ROAD - CONNECTOR

4 Yale Avenue (110' ROW)

Four-Lane Arterial with Painted Median

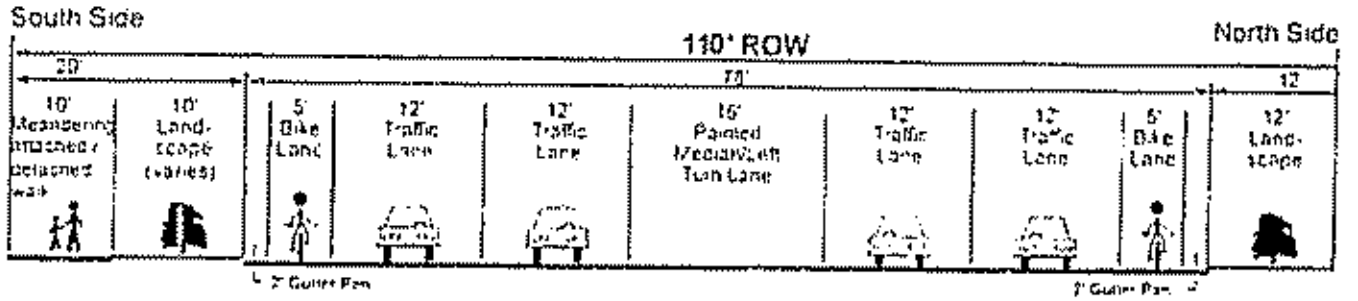


- construct full road section
- 2 lanes each direction

YALE AVENUE

5 Mississippi Avenue (110' ROW)

Four-Lane Arterial with Painted Median

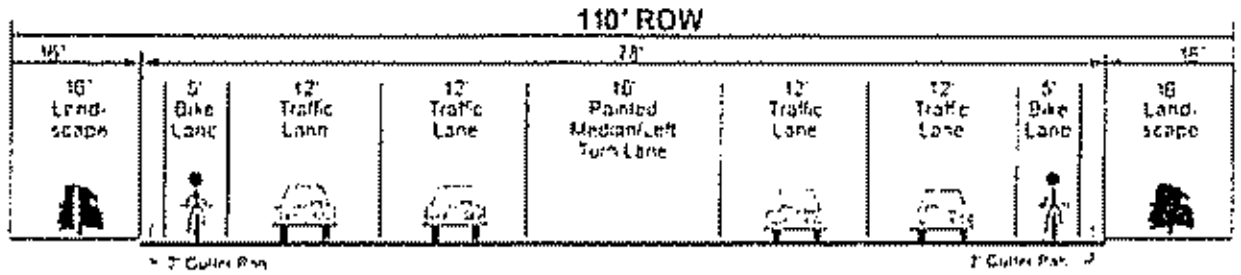


- construct only south 1/2 road section
- 2 lanes each direction

MISSISSIPPI AVENUE

6 Harvest Mile Road (110' ROW)

Four-Lane Arterial with Painted Median

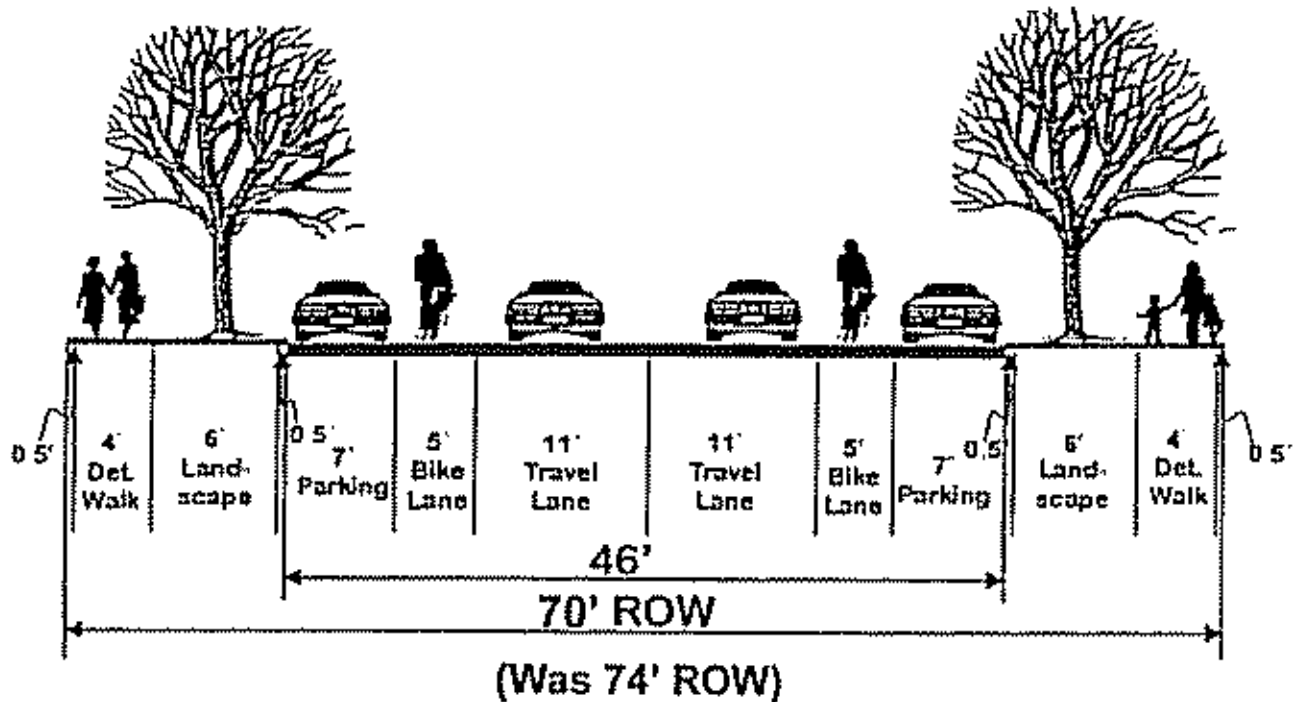


- construct only west 1/2 road section
- 2 lanes each direction

HARVEST MILE ROAD

The following cross-sections are included to depict the hybrid streets:

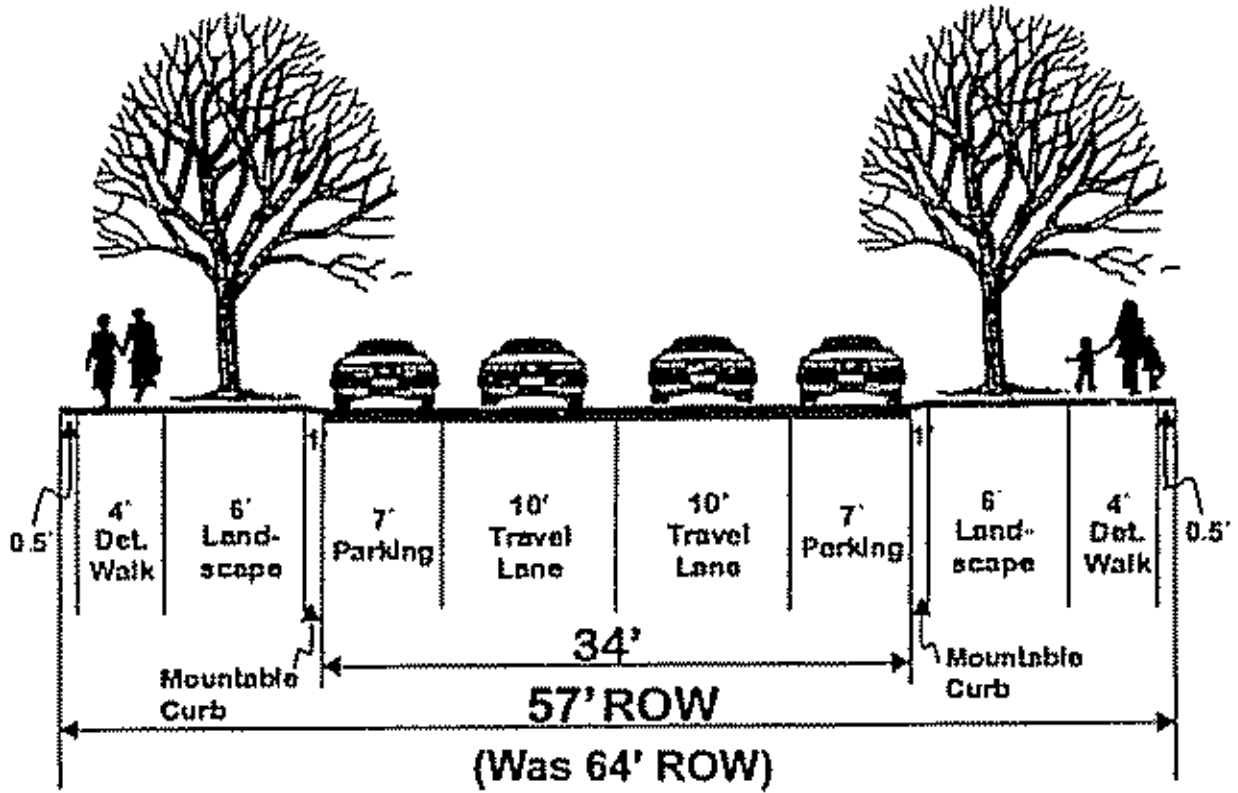
- a. Major Collectors - (Refer to Appendix - Item 11, Page XI for cross section of Old Tom Morris Road)



Major Collectors: Any street that connects at both ends with an arterial. Single family detached units do not front the street. Generally located midway between parallel arterials.

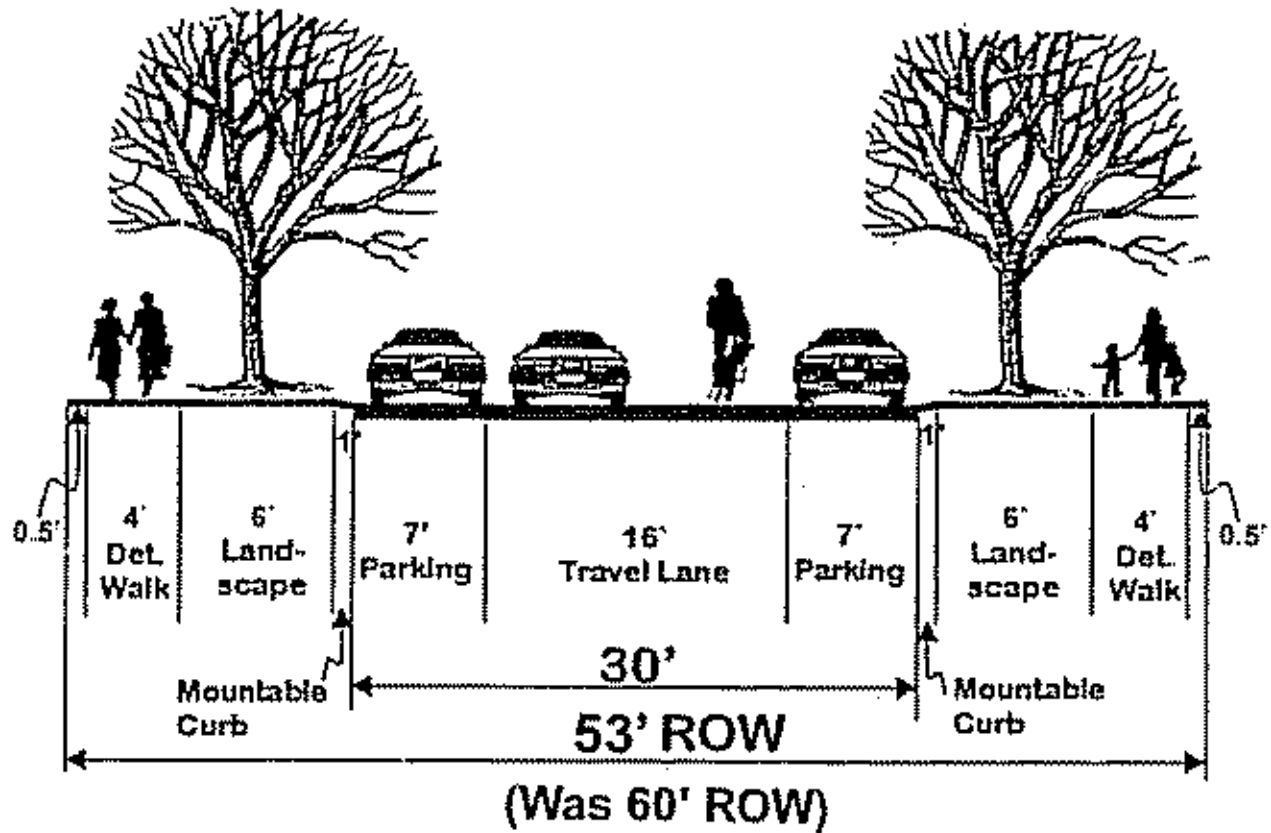
Note: Curb & gutter is standard 6" vertical with 2 foot gutter.

b Local Street - Type 1 -



Local Street Type 1: Neighborhood streets connecting with major collectors or arterials

c Local Street - Type 2



Local Street Type 2: Destination streets that do not connect with major collectors or arterials. A maximum of 40 dwelling units are permitted to front the streets. For cul-de-sacs less than 250', the sidewalk may be attached and the right of way reduces to 44 feet.

All local streets south of Jewell Ave shall meet the new City of Aurora Street Standards

- 9.1.3 Emergency Access - The developer shall provide emergency access for each phase of development as approved by the Aurora Fire Department. Emergency connections will be provided by the developer where necessary in order to insure swift and safe access throughout the development as determined by the Fire Chief. The developer shall provide emergency crossings that meet City standards.
- 9.1.4 Alleys - Alleys will be a minimum of 16' wide with 6" depth concrete.
- 9.1.5 Private Drives and Courts - Specifications for private drives and courts shall be considered at time of Site Plan.
- 9.1.6 State Highway 30 Access - All access points to State Highway 30 must be reviewed and approved by CDOT.

9.2 Pedestrian

- 9.2.1 Objective - Pedestrian circulation will be provided by trails within the property and sidewalks along the streets. Walkways within the open space to the extent possible will separate pedestrians and bicycles from automobiles and golfers. These walkways will provide alternate access from the residential areas to parks, schools and commercial areas.
- 9.2.2 Sidewalks - All community on-street sidewalks will conform to City of Aurora draft street standards with the exception of:
 - a Collector and Arterial streets with rights-of-way approved at time of GDP and illustrated under Section 9.1.2
 - b Hybrid local streets with four (4) foot detached walks. Refer to cross-sections illustrated under Section 9.1.2

When a street abuts and/or runs parallel to a regional trail, an on-street sidewalk on that particular side of the street need not be provided. Refer to the Appendix, Item 11 for an example of this situation.

- 9.2.3 Trails - The following off-street trails will be incorporated at Murphy Creek:
 - a Regional Trail - A regional trail will be constructed per City of Aurora Standards. The trail will be located along portions of Murphy Creek and north of Jewell Avenue to Mississippi Avenue. Refer to the Appendix, Item 11 for an example of the trail adjacent to Old Tom Morris Road.

A regional trail will also be provided along the northern right-of-way of Jewell Avenue. The trail along Jewell Avenue shall be of a

high caliber design including sidewalks and bike paths. It will be a detached meandering trail and include minimum irrigation, varied berming and high caliber landscaping. Detailed landscape plans will be provided at time of Site Plan. Where trails are adjacent to major arterials and collector streets, the required sidewalks on the corresponding side of the street will be eliminated. Refer to the Appendix, Item 11 for an example of this situation.

- b Linear Park/Trail - A linear park/trail will be provided within the Public Service Company's right-of-way east of the property. These trails will afford a future connection to the E-470 regional trail and connect to proposed trails east and north of the property.

9.3 Parking

- 9.3.1 Off-street Parking - Single-family residential off-street parking will be provided by means of garages (minimum two cars) and driveways (minimum two cars) per dwelling unit. All off-street parking will comply with the City of Aurora Standards.
- 9.3.2 On-street Parking - On-street parking will be provided along the standard streets.
- 9.3.3 Recreational Vehicle (R.V.) Parking and Storage - R.V.'s will be restricted by the CCR's. No group storage of R.V.'s will be provided within residential areas at Murphy Creek.

10.0 AMENITIES AND OPEN SPACE DEVELOPMENT STANDARDS

10.1 Open Space Areas

The property is characterized by gently rolling high plains environment. The site is named for Murphy Creek which flows through the property from north to south. Minor tributary drainage cross the site feeding into Murphy Creek supporting some cottonwood filled riparian areas. All this is set adjacent to and below a generally open and unchanging high plains environment.

The open space system ties Murphy Creek into a cohesive "green" community. Trails throughout most of the open space complements the natural open space system by connecting the community together. All open space tracts will be owned and maintained by the homeowner's association (HOA) and/or special district. This open space will include, but not necessarily be limited to:

- a. combination park and school site with an active recreation area designed primarily as soccer fields
- b. a 3 acre swim club including bath facilities with cabana, outdoor Olympic size pool, children's wading pool, tennis courts, basketball courts, picnic areas, and playground area including playground equipment
- c. perimeter landscape buffers, berms, parkways including arterial and collector street right-of-way landscaping
- d. internal pedestrian and bicycle paths
- e. pocket parks
- f. entrance walls and focal points
- g. cul-de-sac parks and parking areas

10.2 Public 18-Hole Golf Course

Along portions of Murphy Creek, the eighteen hole golf course has been carefully planned to compliment the natural drainage and flood plain areas. The intent of land planning and siting of the golf course and residential parcels within the influence of both drainage is to maximize the scenic value offered by them and minimize grading and disturbance impacts. Access will be designed to allow pedestrian circulation while minimizing vehicular crossings. Residential units are planned to take full advantage of the excellent views and the effect of generous open space associated with their neighborhoods.

Planned as a unified residential development and golf course, this area will be a combination of manicured and natural open spaces. The golf course has been designed to prevent as much as possible conflicts with adjacent dwellings, pedestrian and roadway crossings. The golf course has been designed to weave through the site, with homes located on both sides. Therefore, homeowners will be advised that by building or owning a dwelling along said golf course they are at risk from errant golf balls. Liability waivers will be a part of the closing.

documents for the sale of each home adjacent to the golf course

11.0 GENERAL NOTES

- 1 The developer has the right to build at a lower density in any planning area provided the City has determined that the use is permitted and compatible with surrounding land uses and a finding of compatibility is determined at the time of Site Plan review; provided the developer meets the requirements of that particular zone district and the intent statements of these Development Standards. This reduction shall be considered a minor change, enabling the developer to gain approval of the site without amending the Development Standards. There will be no transfer of development rights between the land use parcels once these Standards have been adopted.
- 2 Residential Development Standards shall apply to the use described, regardless of the zone district in which they are found (ie. if a single-family detached use is developed, then the standards from that district shall apply).
- 2 Maximum intensity of use may be attained only after site plans have satisfied all other zoning requirements such as open space, parking, setbacks, building height and minimum lot size specifications.
- 3 All roadway systems are conceptually located to provide access to the site and its environs. All efforts will be made to provide smooth flowing roads that respond to future parcel and off-site demands. Final alignments, access and design will be determined at the time of site plan review and shall be in substantial accordance with the Development Standards to the extent that is reasonable and possible. At the time of site plan for each land use parcel, the developer shall address and/or show adequate temporary emergency access for said land use parcel.
- 4 The owner/developer of any property within the area subject to these development standards has the right to continue existing agricultural uses until the time of site plan or subdivision plat approval.
- 5 For the purposes of City review and approval of site plans and subdivisions, permitted intensity of development shall be controlled by Floor Area Ratio (FAR) and gross dwelling units per acre (DU/AC) figures, as specified within these Development Standards. The gross densities shall not exceed the allowable DU/AC in each district even if the lots are the minimum size permitted.
- 6 The development standards contained herein shall govern the development of the property and, except as expressly provided herein, the City's site planning procedures, City Code, Charter and ordinances or regulations shall apply to the development of this project.
- 7 At the time of Site Plan, the developer shall be obligated to address referral comments received from the appropriate Federal, State or local agencies.

- 8 Nothing herein shall constitute or be interpreted as a waiver of the City's legislative or governmental authority to enact regulations under its police power
- 9 The Master Drainage Plan proposed on behalf of the owner shall first be reviewed and approved by the City prior to approval of any subdivision. In the event of any conflicts concerning but not limited to size, location and regional detention ponds and/or drainage-way locations, cross sections and widths, the Master Drainage Basin Plan shall govern. To the extent that revisions to the golf course and development boundaries become necessary due to the findings of the Master Drainage Plan, the Development Standards shall be amended pursuant to City code at the time of Site Plan.
- 10 Development with Murphy Creek will comply with the Master Water and Sanitary Sewer Plan on file with the City of Aurora Utility Department for the property.
- 11 The developer at the City's option may be required to provide additional traffic analysis for each site prior to or concurrent with the approval of a Site Plan, to ensure that necessary infrastructure and secondary access is in place to accommodate the proposed development.
- 12 Setbacks listed herein may be increased by the City if, at the time of Site Plan review, the City determines that the setbacks do not satisfy the minimum building fire or safety standards.
- 13 Except as otherwise noted within these Development Standards, all City of Aurora Ordinances, regulations and rules uniformly applicable and in effect at the time of Site Plan and/or Subdivision Plat approval shall be applicable to the development of this property.
- 14 It is the intent of the developer to provide a variety of active recreational opportunities which may include playgrounds, swimming pools and tennis courts within these recreational areas for residents of Murphy Creek.
- 15 All building heights described shall not exceed Federal Aviation Administration Part 77. Land uses and development plans shall be subject to referrals from the FAA at the time of development.
- 16 In such event that changes occur in flight patterns, noise contours, Accident Potential Zones (APZ's) et cetera for Buckley A N G or Denver International Airport (D I A) so as to materially affect the land uses and development statement contained herein, the City and the owner/developer of the affected land agree to amend the General Development Plan in response to the changes in airport operations. The Noise Impact District (N I D) boundaries as shown on the approved G D P are preliminary only. Final N I D delineation shall be determined by actual study at time of Site Plan.

GENERAL DESIGN FEATURES TO BE INCORPORATED INTO TRADITIONAL NEIGHBORHOOD HOUSES

July 30, 1999

USE OF "TRADITIONAL" HOUSE STYLES

Murphy Creek's Traditional Neighborhood House Design Criteria is developing a format in which the contemporary home built with today's construction technology and materials can produce the quality, image and charm of many older neighborhoods. These neighborhoods were generally built by a series of builders, each one expressing elements from traditional, recognized architectural styles.

The richness of the majority of these neighborhoods results from the contrast and unique flavors of individual styles combining in one neighborhood. The styles of traditional American homes are virtually unlimited. They include Colonial, Greek Revival, Victorian, Bungalow, Craftsman, Arts and Crafts, Tudor, Gothic, Spanish Revival, American Foursquare, Prairie Style and many others. By serious attention to scale, proportion, detail, color application and reduction of the garage element at the street elevation, the opportunity to create a new timeless style neighborhood presents itself at Murphy Creek.

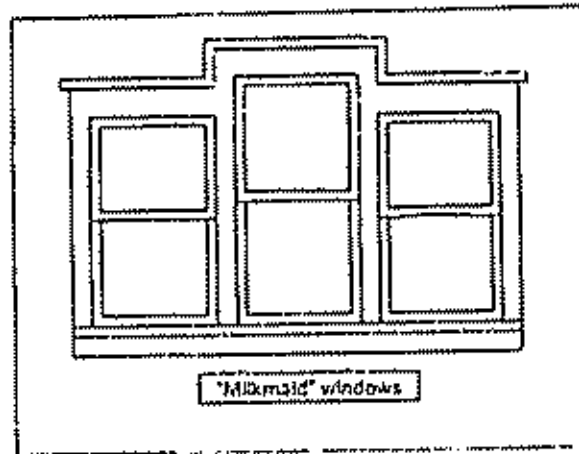
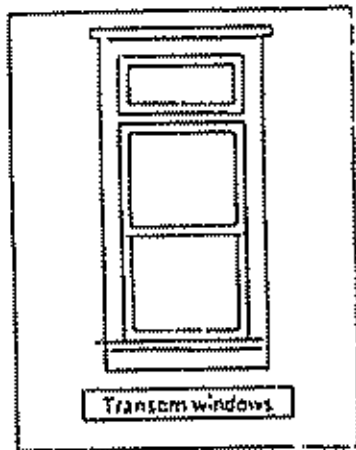
USE OF TRADITIONAL ARCHITECTURAL DESIGN FEATURES

The design of every home shall incorporate at least six of the following architectural features:

- 1 Bay window - Two on any elevation
- 2 Roof dormer - Two or a major dormer
- 3 Fireplace chimney with detailed termination cap. Chimney clad with masonry or stucco. Maybe approximately 2' x 3' roof mounted
- 4 Attached or detached garage to the rear of main house
- 5 Primary roof slope of 7/12 or greater or appropriate slope for the architectural style
- 6 Primary roof material in concrete tile, clay tile, simulated slate, or standing

seam metal

- 7 200 square feet of brick, cultured stone or stucco detailed as an integrated horizontal masonry base or a masonry mass element in character with the architectural style
- 8 Second story porch of at least 25 square feet or balcony with decorative rail
- 9 Two windows with transoms on the front or rear elevation



- 10 "Milk-maid" window patterns

3-windows w/ staggered pattern, middle window has top of window higher, or sill lower.

- 11 Low decorative picket fence in front yard (vinyl or similar no maintenance material)
- 12 Special patterned paving material or pigmented concrete with scored pattern on walks or driveway open to public view (at least 100 square feet)
- 13 Special millwork detail or similar detailed decorative elements on gable ends, porch frieze or millwork brackets at porch columns

- 14 Custom detailed garage doors with windows and applied wood trim pattern
- 15 Overhangs detailed other than standard 12" boxed soffit
- ~ 16 Front elevation fenestration detailing consistent on all four elevations, includes fascia, soffit, frieze, window trim, horizontal banding etc
- 17 Finishing exposed concrete foundations with stucco or masonry paint
- 18 Side elevation mounted trellis work for future planting
- 19 Minimum 3-1/2" corner trim and horizontal trim bands at floor plate lines, changes in siding textures and colors
- 20 A three color paint scheme featuring rich, historically documented colors, with all trim painted in one or more contrasting colors with the front entry door in a gloss accent, and roofing color selected to compliment the paint colors chosen
- 21 Front elevation that features a 1-1/2 story design (see drawing)

GARAGE ORIENTATION

- 1 Parcel 4 is identified to develop with a combination of the following garage orientations:
 - a Street access with detached/attached garage in rear
 - b Front loaded recessed garage
- 2 Parcel 5 is identified to develop with 100% recessed garages
- 3 Parcel 8 is identified to develop with garages accessed from a rear alley with the exception of the golf course lots which will consist of 30% recessed garages

PORCH DESIGN

- 1 No more than 6 risers from entry walk to finished floor of residence.
- 2 All risers must be solid - no open treads. The sides of stairs with more than three risers shall be enclosed with lattice screen
- 3 Porches more than two feet above adjacent grade must be skirted with lattice screen, masonry, or siding
- 4 Porches must feature detailed columns with a minimum dimension or diameter of at least 5-1/2" or double columns may be 3-1/2" (All columns shall feature capitals, and bases (plinth) details in accordance with the general house style)
- 5 Porches with gable ends facing the street shall have a roof pitch equal to or greater than that of the main house Porches with shed style roofs may have pitches less than that of the main house
- 6 Where the building code requires a porch railing, the porches shall have baluster railing and cap in a design appropriate to the house style

WINDOW AND DOOR DESIGN

- 1 All windows shall be fixed glass, casement, double-hung or single-hung
- 2 All windows and doors shall be trimmed at the head, jamb and sills with a minimum trim width of 3-1/2" at sides and bottom and 4-1/2" at top

3 All main entry doors shall include either sidelites, a transom lite, lites in door or double door configuration

GABLE END DETAILING

- 1 All street-facing gable ends on one story homes shall have decorative window treatments and/or decorative vents in the attic area. On two story homes with street-facing gable ends at least one gable shall have a decorative window or vent treatment in the attic area.
- 2 All street-facing gable ends shall be trimmed with frieze boards, rake boards, and fascia boards proportioned to the size of the gable

SOFFIT DETAILING

All roofs shall overhang adjacent wall by a minimum of 12" not including gutters or special detailing compatible with the historical style image of the house

EXTERIOR WALL CLADDING

Siding pattern may be rough or smooth: drop siding with approximately 4" exposure, 8" lap siding, or shingle, with 2x4 or 2x6 at corners. Lap siding not to exceed 7" exposure. Lattice Skirting: Strips shall have spacing no larger than 2" or masonry base. Masonry is not required

ROOFING

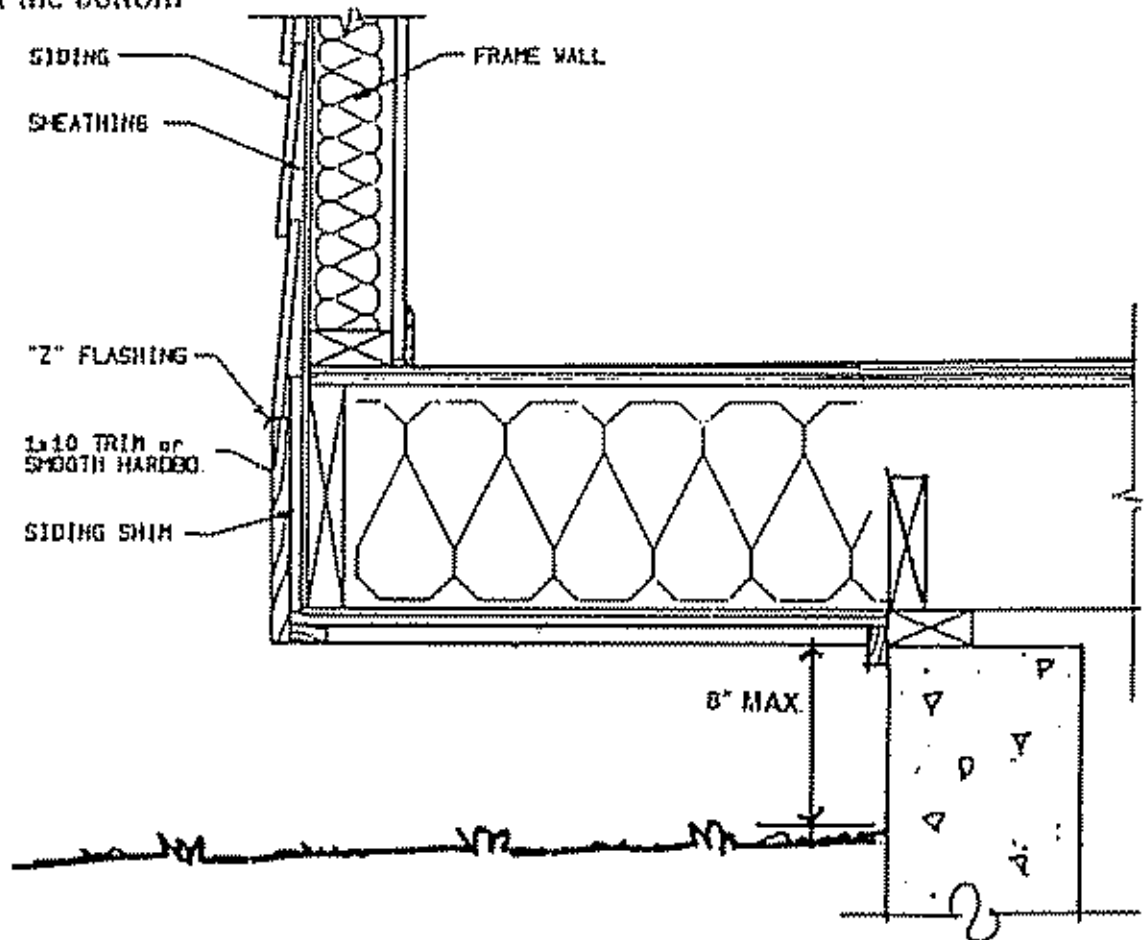
Roof materials shall consist of composition dimensional shingles in three different roof colors in a neighborhood, or other materials such as concrete or clay tiles or standing seam roof

FENCING

All fencing fronting local and collector streets shall be of vinyl or a similar maintenance-free material designed to simulate a decorative painted wood fence

CHIMNEYS

Fireplace chimneys both exterior wall and roof top locations shall be faced with compatible house siding and may be cantilevered with a minimum 1x10 trim band at the bottom



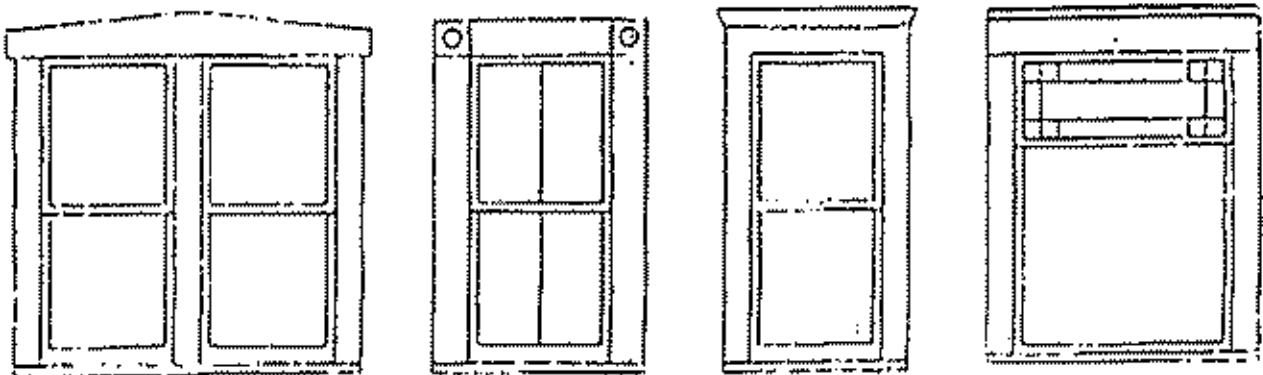
THE ARCHITECTURAL IMAGE OF THE HOUSES AT MURPHY CREEK

The overall image of the traditional neighborhood houses at Murphy Creek should follow the recognizable styles of America's neighborhoods. These include Colonial, Colonial Revival, Greek Revival, Victorian, Bungalow, Craftsman, Tudor Revival, Gothic, Spanish Revival, American Foursquare, Prairie Style, Farmhouse, Federal, Georgian, Italianate, Queen Anne, Dutch Colonial, Cottage Style, Shingle Style, Cape Cod, Shaker, Carpenter's Gothic and Mission Style. Home builders developing at Murphy Creek should develop the image and style of their neighborhoods around these established styles. Their project designs should incorporate the basic features of these styles using contemporary materials and construction technology.

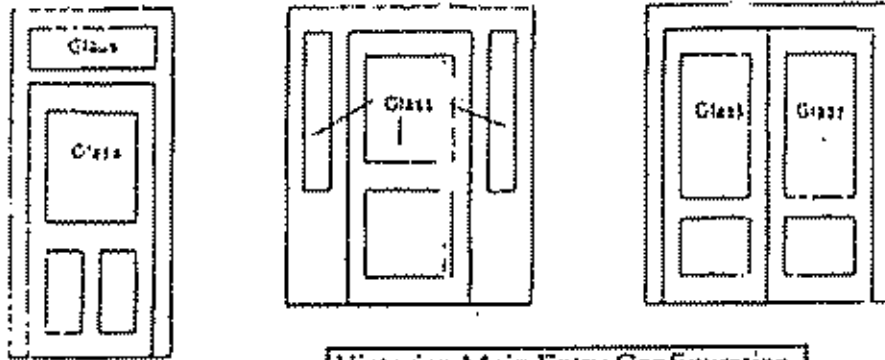
EXAMPLES OF TRADITIONAL STYLE ELEMENTS

Victorian

- Proportions and massing Building massing is complex and vertical proportions are emphasized. Box and bay windows are featured along with corner turrets. At least three of the four major house elevations shall contain gable ends.
- Siding materials. Lap siding, real or simulated decorative siding, shingles, brick. Mixture of siding patterns appear on all elevations. Horizontal and vertical trim boards are used to divide up the facade, and to mark story heights and create banding.
- Window and door styles Front doors shall be designed in one of the Victorian configurations shown below. Windows facing streets shall be trimmed and designed in one of the configurations shown below. Windows are vertical in proportion with at least 1/4 of all windows joined together as double or triple windows. Window sash glass shall be divided 1 over 1, 2 over 2, or decorative transom over fixed glass with real or simulated mullions. Only fixed glass, double hung or casement windows may be used (See illustration below). Sliding doors may be used on side and rear elevations.
- Roof pitches and materials Primary roof pitches shall be a minimum of 6/12. Porch and shed attached shapes can be covered with shallower pitches. Roof structure are complex and shall contain a mixture of hip and gable roof designs.
- Porches and other special features All front elevations shall contain a porch with detailed balustrades and bracketed porch columns, although not all porches must be full width. Porch column spacing shall not exceed 10 feet.



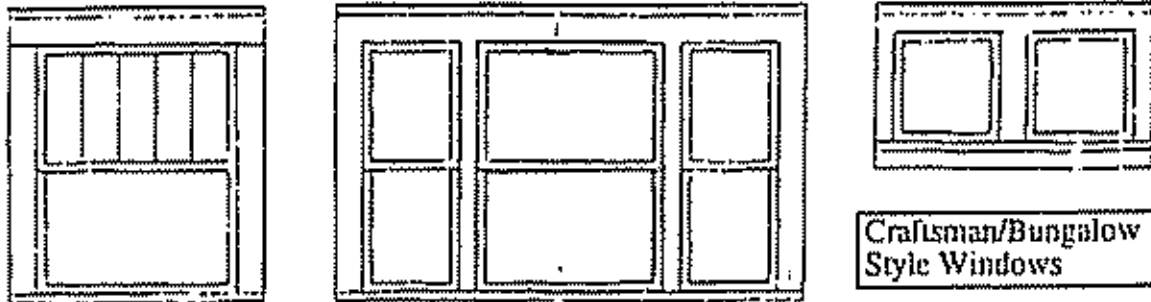
Victorian Style Windows



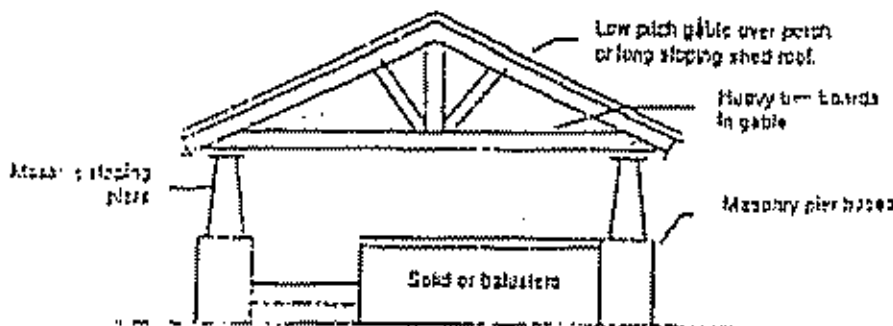
Victorian Main Entry Configuration

Craftsman

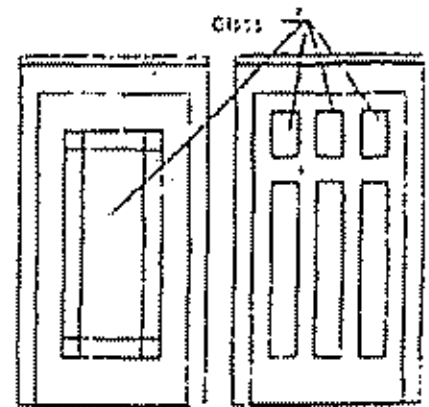
- Proportions and massing Proportions are square or horizontal Primary house shape may be simple, but front elevation roof area has at least one large, horizontally proportioned dormer Two story homes are designed to appear to be one story, through the use of long, sloping roof lines
- Siding materials. Narrow or wide profile lap siding, stucco, brick, simulated or real shingles. Wide trim boards are used to separate building materials and textures All elevations shall have at least two different materials or textures, and the front elevation shall have at least three
- Window and door styles Proportions are square or horizontal, with at least 1/4 of the windows joined together Window sash glass shall be divided either 1 over 1, or with vertical mullions in the top sash Only double hung, casement, or fixed glass windows may be used.
- Roof pitches and materials. Main roof pitches are at least 5/12
- Porches and other special features All home fronts shall feature porches with massive, widely spaced columns (See drawing below)



Craftsman/Bungalow Style Windows



Craftsman/Bungalow Style Porch



Door Styles

GLOSSARY

ROOF FORMS

Front-Gabled



Steep Pitch



Moderate Pitch



Low Pitch



Gothic Revival, Stick.
Queen Anne, Tudor

Shingle, Neo-Classic

Greek Revival, Italianate,
Craftsman

Side-Gabled



Steep Pitch



Moderate Pitch



Low Pitch



Tudor, Gothic Revival, Stick,
Queen Anne, French Colonial

Colonial Revival, Georgian,
Adam, Classical Revival,
Neoclassical, Shingle

Italianate, Craftsman, Greek
Revival, Dutch Colonial,
Spanish Colonial

Mansard



Second Empire, Beaux Arts,
Richardsonian, Romanesque

ROOF FORMS

Cross-Gabled



Steep Pitch



Tudor, Gothic Revival, Stick,
Queen Anne

Moderate Pitch



Shingle, Early Classical
Revival

Low Pitch



Craftsman, Spanish Eclectic,
Greek Revival, Monterey

Centered Gable



Steep Pitch



Gothic Revival

Moderate Pitch



Colonial Revival, Adam,
Georgian

Low Pitch



Italianate, Italian Renaissance,
Beaux Arts

Gambrel



Dutch Colonial, Shingle,
Colonial Revival, Georgian

ROOF FORMS

Hipped
(with ridge)



Steep Pitch



French Eclectic, Chateausque
French Colonial

Moderate Pitch



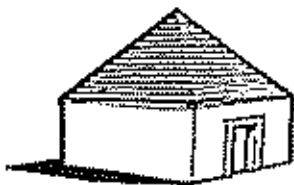
Colonial Revival, Georgian,
Adam, Early Classical Revival,
Mission, Neoclassical

Low Pitch



Italianate, Adam, Greek Revival
Prairie, Italian Renaissance

Hipped
(pyramidal)



Steep Pitch



Chateausque, French Eclectic

Moderate Pitch



Colonial Revival, Neoclassical,
Mission

Low Pitch



Prairie, Italianate

Hipped with
cross gables



Queen Anne, Richardsonian
Romanesque, Shingle

WALLS

Rough-faced
stone



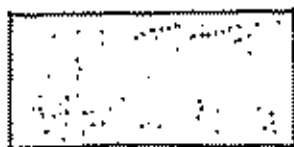
Richardsonian, Romanesque.
Shingle (first story only)

Smooth stone



Beaux Arts. Chatequesque.
Italian Renaissance

Stucco



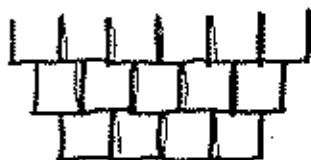
Tudor, Mission, Prairie.
Modernistic, International.
Italian Renaissance. French
Colonial. most other styles

Patterned
shingles



Queen Anne, Shingle.
Folk Victorian

Plain shingles



Shingle, Craftsman.
Colonial Revival

WALLS

Wall surface material extends up into gable without break



Tudor, Gothic Revival.

Second story overhang



Colonial Revival, Tudor

ROOF WALL JUNCTION

No eaves (little or no overhang)



International, Modernistic, Spanish Eclectic

Slight eave overhang, boxed with modillions, dentils, or other classical moldings



colonial revival, Neoclassical, Beaux Arts, Adam, Georgian, French Eclectic, Classical, Chateausque, Italian Renaissance

ROOF WALL JUNCTION

Slight eave overhang,
open, not boxed



Stick. Gothic Revival

Slight eave overhang,
with bracket



Second Empire. Folk
Victorian. Italianate

Slight eave overhang
with wide band of
trim below



Greek Revival

Wide eave overhang,
open, not boxed



Craftsman. Mission

Wide eave overhang,
boxed with brackets



Italianate. Italian Renaissance.
Prairie. Mission

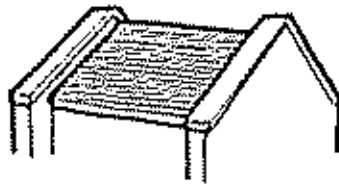
ROOF WALL JUNCTION

Wide eave overhang
open, not boxed



Craftsman. Mission

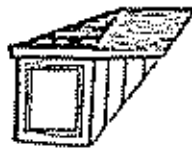
Parapet on
gabled roof



Tudor, Queen Anne.
Richardsonian. Romanesque.
Mission. French Colonial

DORMERS

Hipped



Prairie, French Eclectic
Shingle

Gabled



Craftsman, Colonial Revival.
Adam. Georgian, Shingle.
Queen Anne, Stick. Gothic
Revival, Tudor. Chateausque.
French Eclectic

Shed



Dutch Colonial. Craftsman
Colonial Revival

Arched top



French Eclectic. Second
Empire. Beaux Arts

DORMERS

Round or oval



French Eclectic. Beaux Arts

Pedimented



Colonial Revival. Adam.
Georgian

Wall dormers



Gothic Revival. Chateausque.
Richardsonian. Mission.
Romanesque

Eyebrow



Shingle. Romanesque.
Richardsonian

Shaped



Mission. Queen Anne.
Tudor

OTHER ROOF ELABORATIONS

Flared eaves



French Eclectic. French
Colonial. Prairie. Stick.
Dutch Colonial. Craftsman

OTHER ROOF ELABORATIONS

Multi-level
eaves



Tudor. Shingle.
French Eclectic

Tile roof

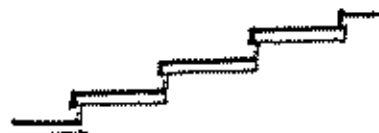
Rounded tiles.
usually red

Spanish Eclectic. Mission,
Italian Renaissance. Prairie



Flat pantiles

Tudor, Italian Renaissance,
Colonial Revival. Neoclassical



Exposed
rafters

Craftsman. Stick, Mission.
Prairie. Gothic Revival



Towers. square

Italianate, Stick,
Second Empire. Queen Anne



Towers. round

Queen Anne. Richardsonian.
Romanesque. Chateausque.
Shingle. French Eclectic



OTHER ROOF ELABORATIONS

Roof-top
cupolas



Italianate. Second Empire.
Octagon. Greek Revival

Decorated
verge boards



Tudor. Gothic Revival.
Queen Anne

Trusses
in gables



Craftsman. Stick, Tudor.
Gothic Revival. Queen Anne

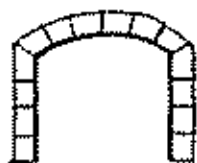
False beams at
gable end



Craftsman. Prairie

ARCHED DOORS, WINDOWS, PORCHES

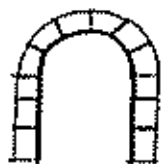
Segmented



Georgian, Colonial Revival.
Adam. Italianate

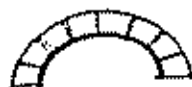
ARCHED DOORS, WINDOWS, PORCHES

Round



Italian Renaissance. Italianate.
Richardsonian. Romanesque.
Spanish Eclectic

Syrian



Richardsonian. Shingle.
Romanesque

Pointed (Gothic)



Gothic Revival

Tudor
(flattened Gothic)



Tudor. Gothic Revival

Baskethandle
(elliptical)



Chateausque. Beaux Arts.
Italianate

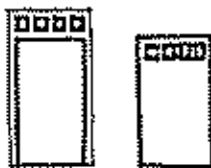
Ogee



Exotic Revivals. Chateausque

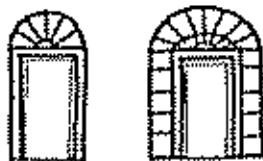
DOORS

Transom
Lights



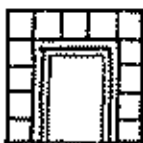
Georgian. Colonial Revival

Round. fanlight
or elliptical
fanlight with
sidelights



Adam, Colonial Revival,
Classical Revival. Neoclassical

Rectangular
transom and
side lights



Greek Revival. Neoclassical

Six to eight
panel door



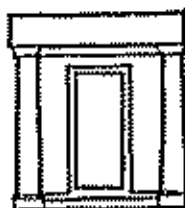
Adam, Georgian.
Colonial Revival
Early Classical Revival

Board and
batten door



Postmedieval English,
Spanish Colonial. Tudor
Spanish Eclectic. Pueblo

Pilasters to
sides of door
(may have pediment)



Georgian, Adam, Greek
Revival. Italianate Second
Empire, Colonial Revival.
Neoclassic. Beaux Arts

DOORS

Pediment



Colonial Revival, Georgian.
Neoclassical, Italian
Renaissance, Beaux Arts,
Italianate, Greek Revival

Broken Pediment



WINDOWS

Casement



Prairie, Tudor, Spanish
Eclectic, Postmedieval English,
Dutch Colonial, Modernistic,
International (metal only)

Palladian



Adam, Queen Anne, Shingle
Colonial Revival, Neoclassical

Pediment

Unbroken



Colonial Revival, Georgian.
Adam, Neoclassical, Italian
Renaissance, Beaux Arts

Broken



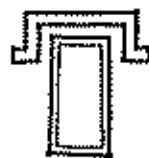
Colonial Revival, Neoclassical,
Georgian, Queen Anne

Oriel



Gothic Revival, Tudor,
Chateausque

Label mold



Gothic Revival, Chateausque
Tudor, French Eclectic

WINDOWS

Ribbon (three
or more contiguous
windows)

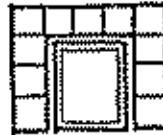


Prairie Craftsman,
Modernistic, International
Post 1900 Eclectic Styles



Shingle, Richardsonian,
Romanesque

Large pane
surrounded by
smaller panes



Queen Anne

Blank lower pane
with patterned pane
above



Queen Anne,
Most Eclectic Styles

Paired window



Italianate or later style

Hood mold



Italianate

CHIMNEYS

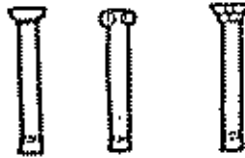
Dominant
decorated
chimneys



Tudor. Queen Anne,
Postmedieval English,
French Eclectic

PORCH SUPPORTS

Classical columns
two story (colossal)



Neoclassical, Greek Revival,
Beaux Arts. Early Classical
Revival

Classical columns
one story



Italianate. Greek Revival
Neoclassical, Beaux Arts.
Adam. Colonial Revival.
Queen Anne. Italian
Renaissance

Columns with
cushion capital



Richardsonian. Romanesque

Chamfered



Italianate. Gothic Revival
Second Empire. Stick

Turned
spindles



Queen Anne. Folk Victorian

PORCH SUPPORTS

Heavy squared
piers



Prairie. Mission. Craftsman
Mission

Piers with
slanted sides



Prairie, Mission. Craftsman
Mission

Rough hewn



Pueblo

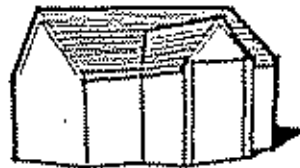
PORCHES

Entry



Can occur on most styles

Full height entry
(usually with pediment)



Early Classical Revival.
Greek Revival. Neoclassical.
Folk Victorian

Full facade



Greek Revival. Neoclassical.
Folk Victorian

PORCHES

Full width
one story



Can occur on most styles

Partial (often
inset in "L")



Gothic Revival. Italianate.
Second Empire. Stick. Queen
Anne, Richardsonian,
Romanesque. Folk Victorian.
Monterey

Wrap



Queen Anne

OTHER DECORATIVE DETAILS

Quoins



Georgian, Adam. Italianate.
Colonial Revival, French
Eclectic, Beaux Arts. Italian
Renaissance. Second Empire

Belt course



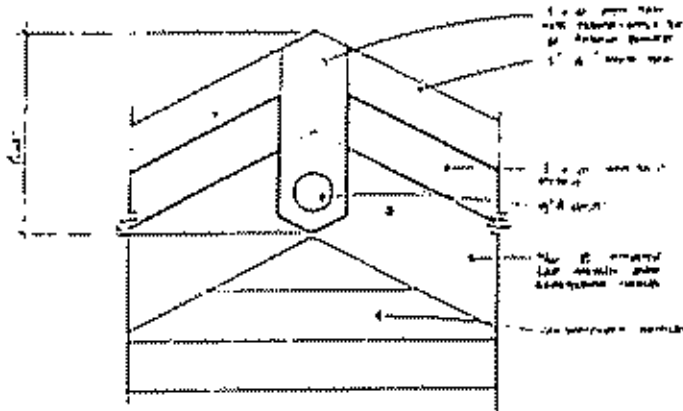
Georgian, Adam. Italianate.
Colonial Revival, French
Eclectic, Beaux Arts. Italian
Renaissance. Second Empire

Pilasters

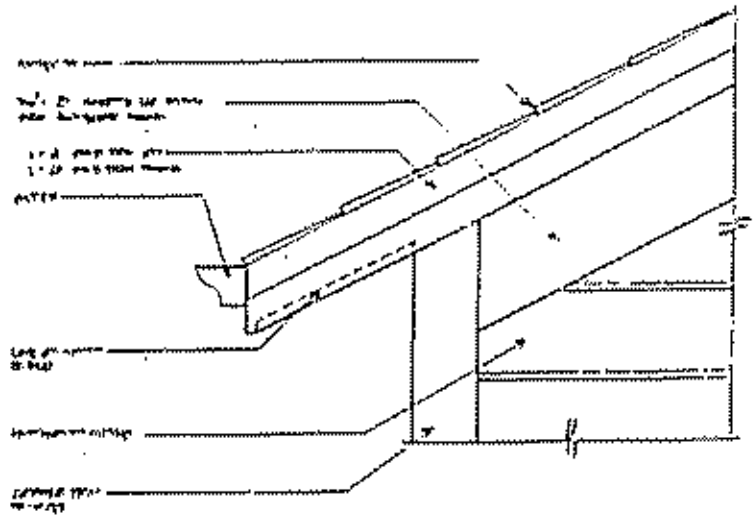


Georgian, Adam. Italianate.
Colonial Revival, French
Eclectic, Beaux Arts, Italian
Renaissance. Greek Revival.
Neoclassical

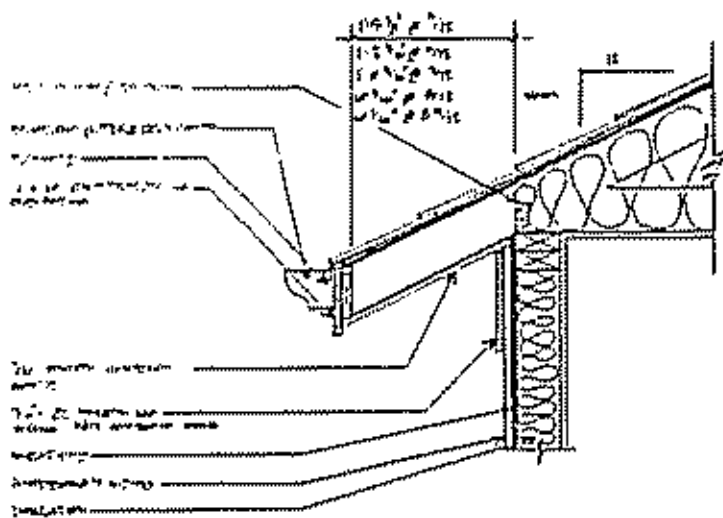
EXAMPLE OF OVERHANGS OTHER THAN STANDARD 12" BOXED SOFFITS



1 KITE BOARD



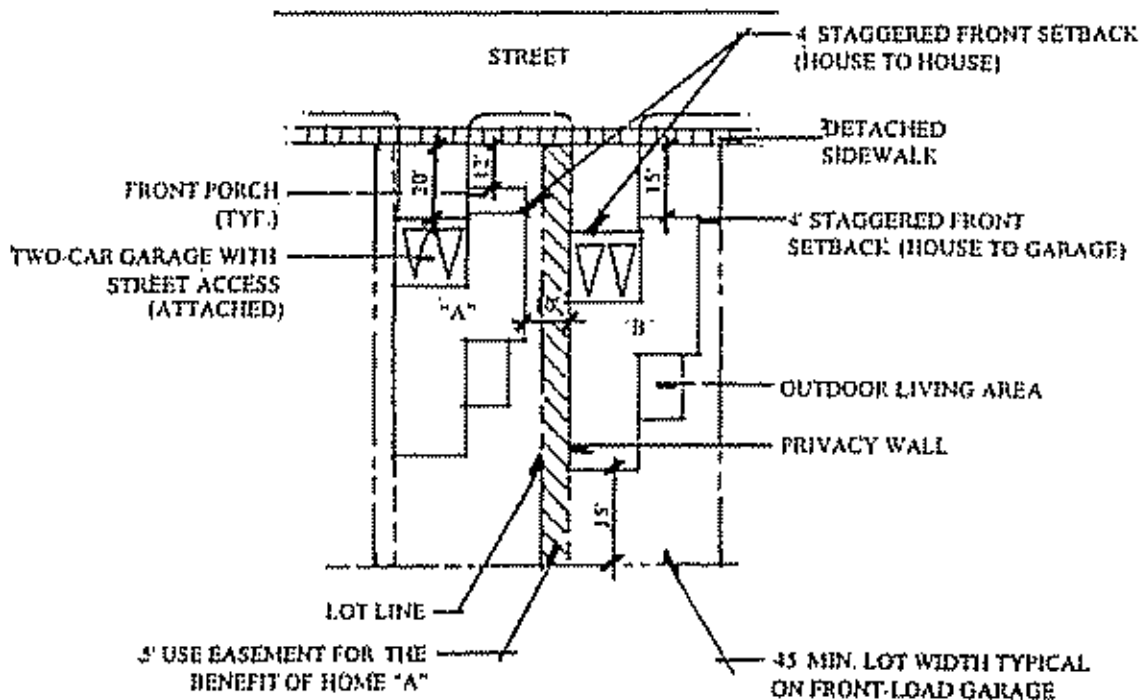
2 GABLE END



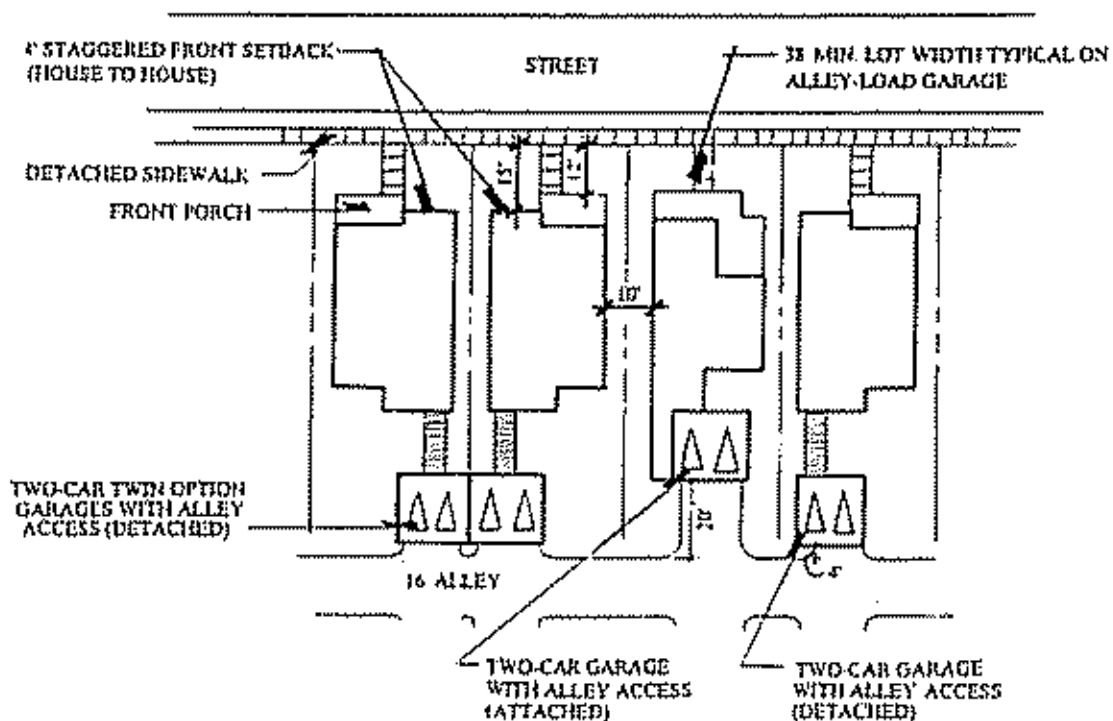
3 EAVE SOFFIT

APPENDIX

2. TYPICAL HOME WITH "USE-EASEMENT"

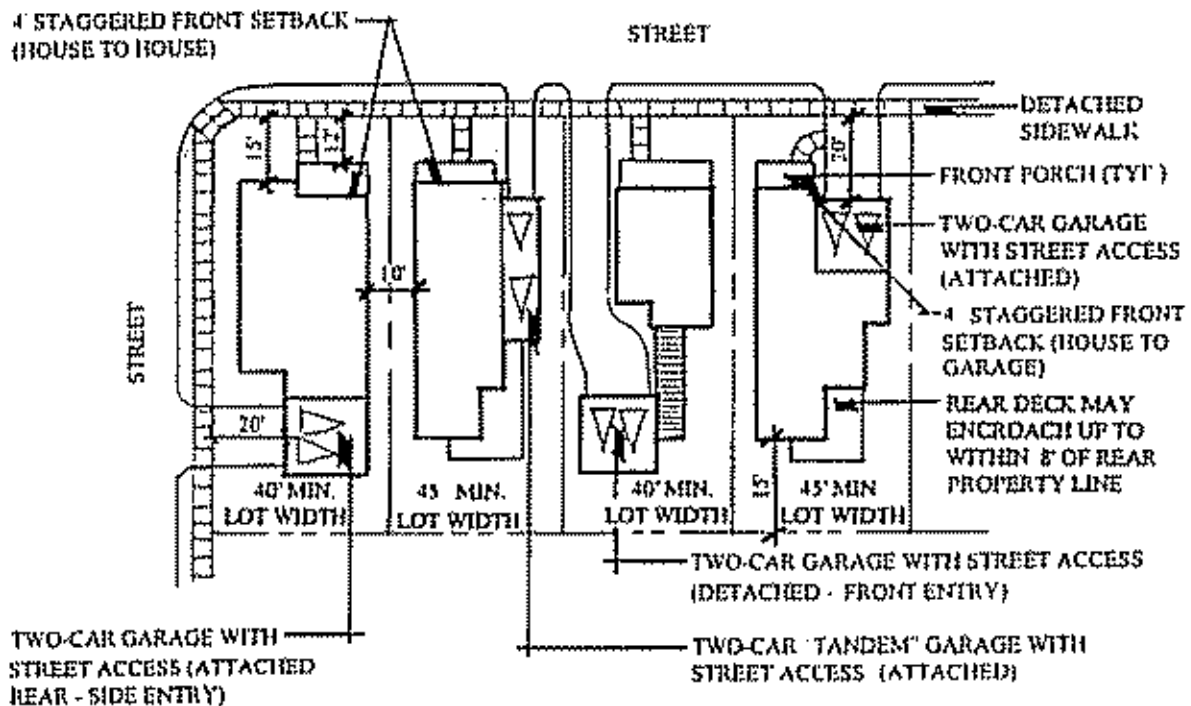
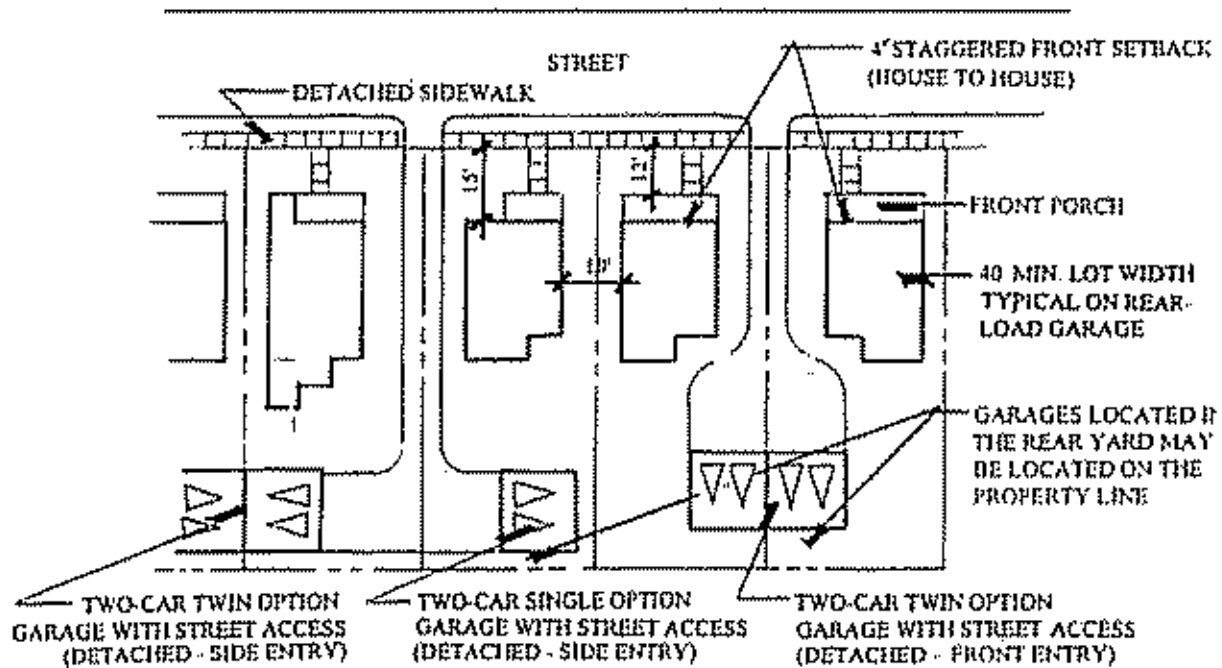


3. TYPICAL HOME WITH ALLEY ACCESS



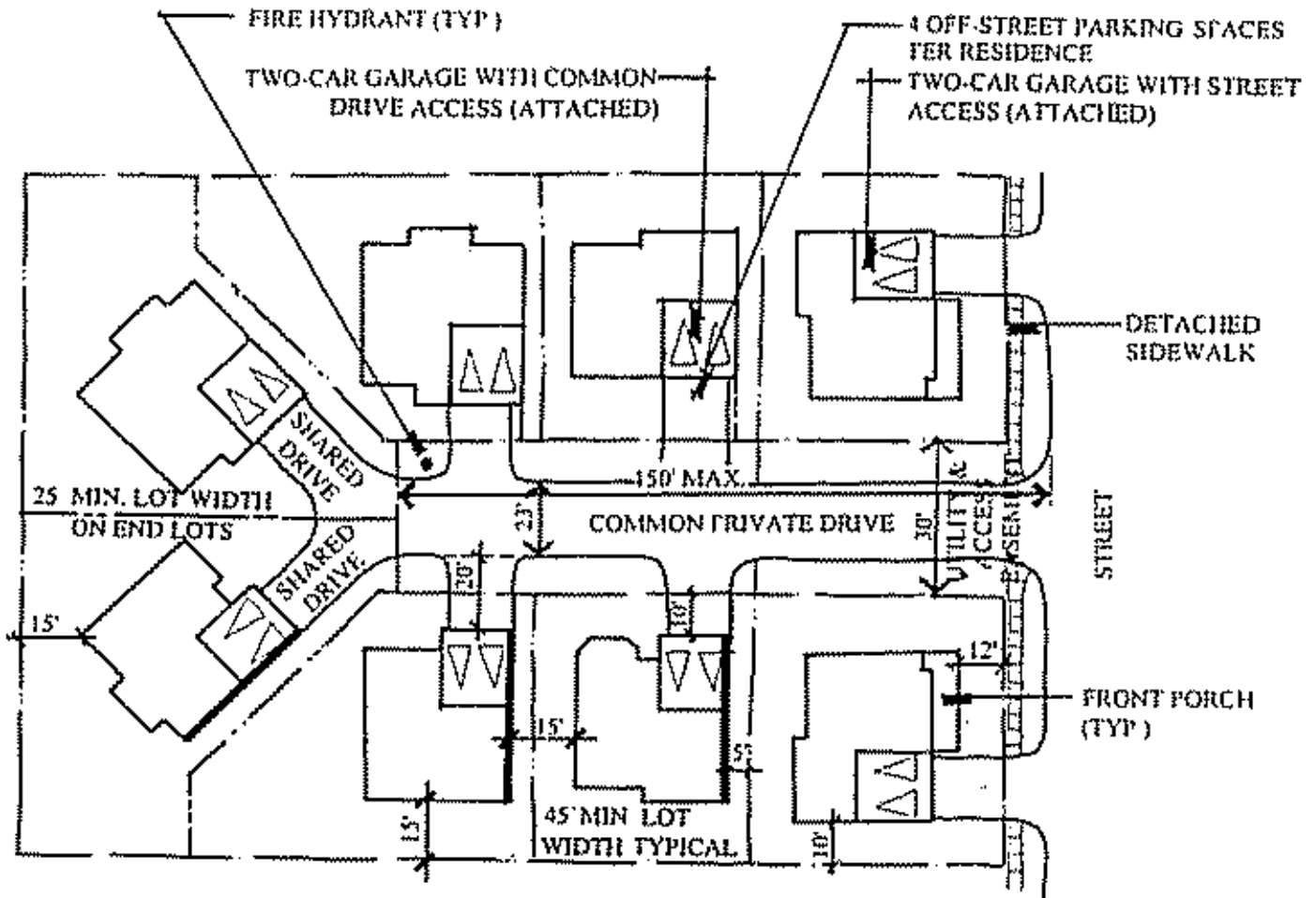
GARAGES WITH ALLEY ACCESS MUST HAVE A SETBACK FROM THE ALLEY OF EITHER 4' OR 20'. NO SETBACKS ARE ALLOWED TO BE BETWEEN 4' AND 20'

4. TYPICAL HOME WITH STREET ACCESS



5. TYPICAL HOME LOCATED ON LIVING LANE (COMMON PRIVATE DRIVES)

* NOTE: REFER TO SECTION 2.7.2(e) FOR ADDITIONAL REQUIREMENTS



- MAIL KIOSKS AND TRASH PICK-UP SERVICES WILL BE PROVIDED FROM THE LOCAL STREET
- COMMON DRIVE MAINTENANCE WILL BE THE RESPONSIBILITY OF A SUB-HOMEOWNERS ASSOCIATION
- PEDESTRIANS WILL WALK IN COMMON PRIVATE DRIVE IN LIEU OF SIDEWALKS DUE TO THE LACK OF TRAFFIC IMPACTS AND THRU-TRAFFIC.

6 TRADITIONAL NEIGHBORHOOD DESIGN FEATURES

*(Refer to the following document for
Traditional Neighborhood Design Features)*

7. **TABLE 1: MINIMUM LANDSCAPE BUFFER WIDTHS FOR COMMERCIAL AND MULTI-FAMILY AREAS**

For buffer landscaping requirements see Section 4.0.

	Proposed Landuse	Buffer Treatment (See Note 1)	A At Public Right-of-Way Lines	B At Private Right-of-Way Lines	C At Adjacent Non-Residential Lines and Residential Lines except all SFD	D At Adjacent Residential Property Lines (SFD)
1	Mixed Use Office PD Comm	Standard Design - Site perimeters buffered with standard landscape strips with no incentive features	20 feet	12 feet	10 feet	25 feet
2	Comm/ Office MF-L	Bermed - Standard design plus a berm or grade change. (Slope no steeper than 1 foot rise to 3 feet run).	18 feet	10 feet	8 feet	20 feet
3	MF-S	Low Hedge - Standard design plus a low hedge. 2 to 3 feet high	15 feet	6 feet	6 feet	20 feet
4		Upgraded plant material - Standard design with all plant materials installed in upgraded minimum sizes.	15 feet	6 feet	6 feet	20 feet
5		Hedge on berm - Standard tree placement plus a low 2 to 3 foot high hedge.	10 feet	N/A	N/A	18 feet
6		Low Wall - Standard design plus a 2.5 to 3.0 foot high stucco or decorative masonry wall. Provide landscaping on the exterior side of wall.	10 feet	6 feet	N/A	N/A
7		Tall Landscape Screen - Standard design includes a tall landscape screen as defined in these guidelines.	N/A	6 feet	5 feet	15 feet
8		High Masonry Wall - Standard design plus a 6 foot high stucco, or decorative masonry wall. Provide landscaping on the exterior side of the wall.	N/A	N/A	5 feet	10 feet (Wall provided in place of the required wooden fence)

NOTES:

- +1 Where a required setback from a property line is less than the minimum required buffer width, such building may intrude into the minimum required buffer.
- 2 Standard design refers to standard buffer strip landscape features at non-street frontages found in Section 4.0

8. TABLE 2: SUMMARY OF LANDSCAPE BUFFER WIDTHS

Proposed Use	Required buffer width when adjacent to: Note 3															
	SFD Large	SFD Medium	SFD Small	SFA Duplex	SFA Townhome	MF Large	MF Small	TND SFD Homes	TND SFA Homes	Mixed-Use Office	Comm/Office	P.D. Comm	Elem School	Golf Course	Parks	Public ROW
SFD Large	-	-	-	-	-	n/a	n/a	-	-	n/a	n/a	-	-	-	-	Note 4
SFD Medium	-	-	-	-	-	-	-	-	-	n/a	n/a	-	-	-	-	Note 4
SFD Small	-	-	-	-	-	-	n/a	-	-	n/a	n/a	-	-	-	-	Note 4
SFA Duplex	10 ft	10 ft	10 ft	10 ft	10 ft	n/a	n/a	10 ft	10 ft	n/a	n/a	10 ft	10 ft	10 ft	10 ft	Note 4
SFA Townhome	10 ft	10 ft	10 ft	10 ft	10 ft	10 ft	10 ft	10 ft	10 ft	n/a	n/a	10 ft	10 ft	10 ft	10 ft	Note 4
MF Large	n/a	25 ft	n/a	n/a	10 ft	10 ft	n/a	n/a	n/a	n/a	n/a	n/a	n/a	25 ft	25 ft	20 ft Note 5
MF Small	n/a	25 ft	n/a	n/a	10 ft	n/a	10 ft	n/a	n/a	n/a	n/a	n/a	n/a	25 ft	25 ft	20 ft Note 5
TND SFD Homes	-	-	-	-	-	n/a	n/a	-	-	n/a	n/a	n/a	-	-	-	Note 4
TND SFA Homes	10 ft	10 ft	10 ft	10 ft	10 ft	n/a	n/a	10 ft	10 ft	n/a	n/a	n/a	10 ft	10 ft	10 ft	Note 4
Mixed-Use Office	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	10 ft	n/a	n/a	n/a	25 ft	25 ft	20 ft Note 5
Comm/Office	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	10 ft	n/a	n/a	25 ft	25 ft	20 ft Note 5
P.D. Comm	25 ft	25 ft	25 ft	10 ft	10 ft	n/a	n/a	n/a	n/a	n/a	n/a	10 ft	n/a	n/a	n/a	20 ft Note 5
Elem School	-	-	-	-	-	n/a	n/a	-	-	n/a	n/a	n/a	-	n/a	-	20 ft
Golf Course	-	-	-	-	-	-	-	-	-	-	-	n/a	n/a	-	-	20 ft
Parks	-	-	-	-	-	-	-	-	-	-	-	n/a	-	-	-	20 ft
Public ROW	Note 4	Note 4	Note 4	Note 4	Note 4	20 ft Note 5	20 ft Note 5	Note 4	Note 4	20 ft Note 5	20 ft Note 5	20 ft Note 5	20 ft	20 ft	20 ft	-

NOTES:

1. When abutting private and public open space, avoid fence canyons. Selecting open fence styles, such as split rail, two and three rail, and cross-buck fences.
2. Buffer widths are measured at right angles from the property line to the nearest hard pavement surface. Parking may not encroach into landscape buffers for Commercial and Multi-family uses only.
3. For buffer landscape requirements refer to the buffer section or Land Use section in these standards.
4. Refer to City Code, Section 146-1931 Fences along Arterials, Collectors, and Continuous Local Type I Streets.
5. Except where adjacent to a view corridor. Refer to Table 3 for additional information.

9. **TABLE 3: MINIMUM LANDSCAPE BUFFER WIDTHS AND INCENTIVE FEATURES AT VIEW CORRIDORS**

	Type of Landuse	Buffer Treatment	A At East Jewell Avenue, Gun Club Road, Yale Avenue, Mississippi Avenue, and Harvest Mile Road	B At Murphy Creek	C At Natural Open Space Park
1	Mixed Use Office PD Comm	Standard Design - Site parameters buffered with standard landscape strips with no incentive features (Notes 1-3)	25 feet	25 feet	25 feet
2	Comm/ Office	Landscape Berms (Note 4)	20 feet	20 feet	20 feet
3	MF-L MF-S	Decorative Fence - Standard plus a 6 foot high decorative fence. Provide landscaping on exterior side of the fence. Masonry columns are required every 200 feet on center or at changes in direction (Note 4, 5 & 6)	15 feet	N/A	N/A
4		Masonry Walls - Standard design plus a 6 foot high stucco, or decorative masonry wall. Provide landscaping on the exterior side of the wall. (Note 4)	10 feet	N/A	N/A
5		Upgraded plant material - Standard design with all plant materials installed in upgraded minimum sizes.	20 feet	20 feet	20 feet

NOTES:

- 1 Where a required setback from a property line is less than the minimum required buffer width, such building may intrude into the minimum required buffer.
- 2 Standard Design refers to standard streetscape landscape features when adjacent to public and private right-of-way, and to standard buffer strip landscape features per Section 4.1.4 View Corridors when abutting non-street frontages.
- 3 Incentive Landscape Features - Incentive landscape features are in addition to the standard landscape required of all developments.
- 4 When applicable, landscaping should be installed on the outside of the fence or wall. Where landscape berms are provided, landscaping shall be integrated to create a natural character to the buffer.
- 5 Fences are subject to requirements established by City Code, Section 146-1931, Fences along Arterials, Collectors, and Continuous Local Type 1 Streets.
6. If decorative fence is decorative PVC, then no brick columns shall be required.

10. PLANT LIST

The developer, builder, or home owner is highly encouraged to select plant materials from the following approved plant lists (Refer to Section 4.1.7 for minimum plant sizes required):

Deciduous Trees

Autumn Blaze Maple*
Autumn Purple Ash*
Burr Oak*
Canada Red Cherry
Downy Hawthorn
European Mountain Ash
Ginnala Maple
Lanceleaf Cottonwood
Linden, American or Littleleaf*
Marshall's Seedless Ash*
Narrowleaf Cottonwood
Palmore Ash*
Red Oak*
Rocky Mountain Maple
Shadeblow Serviceberry
Shademaster Honeylocust*
Shubert Chokecherry
Spring Snow Crabapple
Summit Ash*
Washington Hawthorn
Western Catalpa
Western Hackberry*

* Trees acceptable to plant in 6 tree lawns

Evergreen Trees

Austrian Pine
Bristlecone Pine
Colorado Spruce
Ponderosa Pine
Piñon Pine
Scotch Pine

Deciduous Shrubs

Alpine Currant
American Plum
Black Chokeberry
Blue Mist Spirea
Blue Stem Willow
Burkwood Viburnum
Colorado Dogwood
Common Purple Lilac
Common White Lilac
Compact American Cranberry
Creeping Mahonia
Curl-Leaf Min. Mahogany
Cutleaf Smooth Sumac
Dwarf Burning Bush
Isanti Dogwood
Kelsey's Dogwood
Little Princess Spirea
Manhattan Euonymous
Miss Kim Dwarf Lilac
Native Potentilla
Peking Cotoneaster
Purple Canadian Lilac
Redleaf Barberry
Red-Twig Dogwood
Snowball Viburnum
Saskatoon Serviceberry
Threeleaf Sumac
Twinberry Honeysuckle
Wayfaring Tree
Western Sand Cherry
White Canadian Lilac
Wild Rose

Evergreen Shrubs

Blue Chip Juniper
Bar Harbor Juniper
Broadmoor Juniper

Buffalo Juniper
Hughes Juniper
Holbert Juniper
Tam Juniper

Perennials

Aster
Basket-of-Gold
Black-Eyed Susan
Blanket Flower
Candytuft
Clematis
Columbine
Coneflower
Coral Belts
Coreopsis
Daisy
Daylily
Delphinium
Dianthus
English Ivy
Gayfeather
Hollyhock
Honeysuckle
Iris
Lavender
Lupine
Penstemon

Periwinkle
Peony
Phlox
Poppy
Snow-in-Summer
Speedwell
Thyme
Yarrow

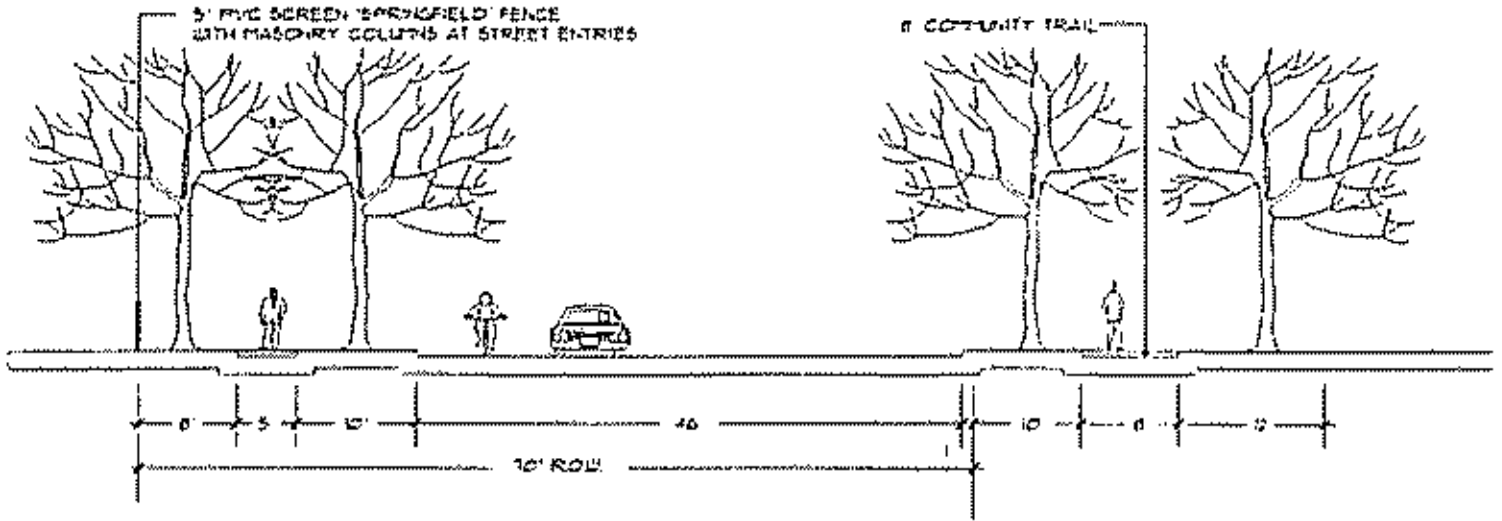
Annuals

Impatiens
Marigold
Pansy
Petunia
Salvia

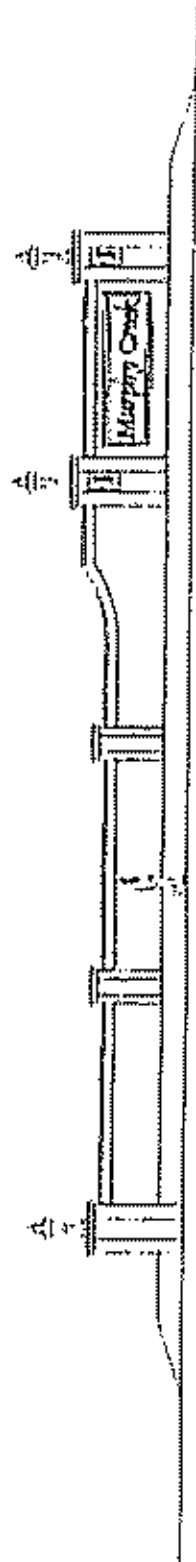
Grasses

Big Bluestem
Blue Grama Grass
Buffalo Grass
Feather Reed Grass
Fountain Grass
Indian Grass
Little Bluestem
Maiden Grass
Prairie Cord Grass

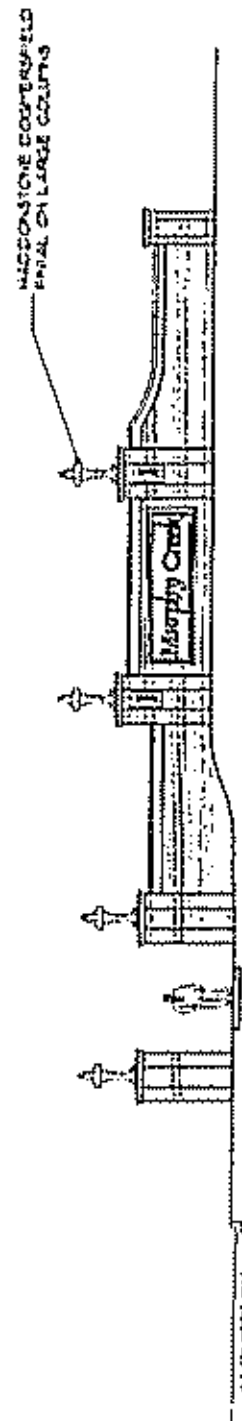
11. REGIONAL/COMMUNITY TRAIL ADJACENT TO OLD TOM MORRIS ROAD



12. PROJECT SIGNAGE - MAIN ENTRY MONUMENTATION (EAST SIDE)

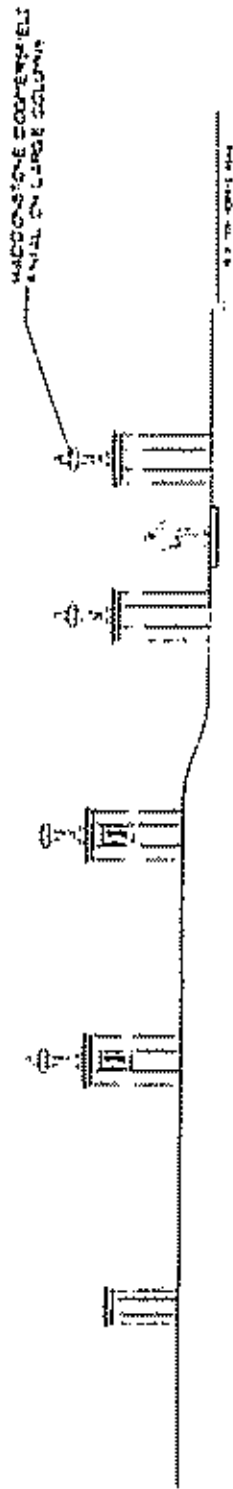


MAIN ENTRY MONUMENTATION East Side
East Elevation

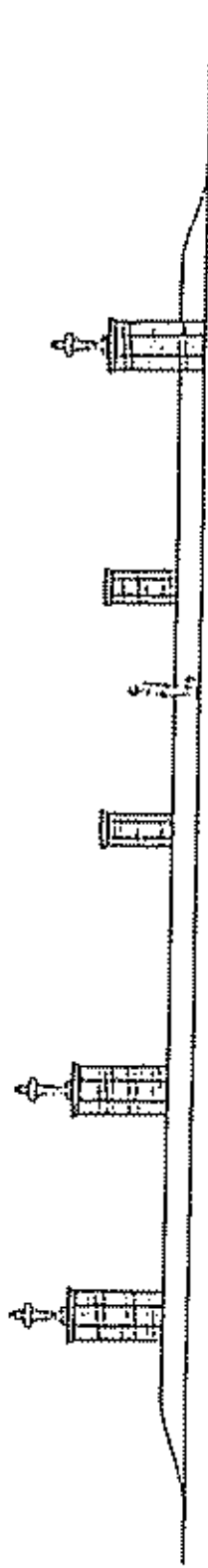


MAIN ENTRY MONUMENTATION East Side
North Elevation

13. PROJECT SIGNAGE - MAIN ENTRY MONUMENTATION (WEST SIDE)

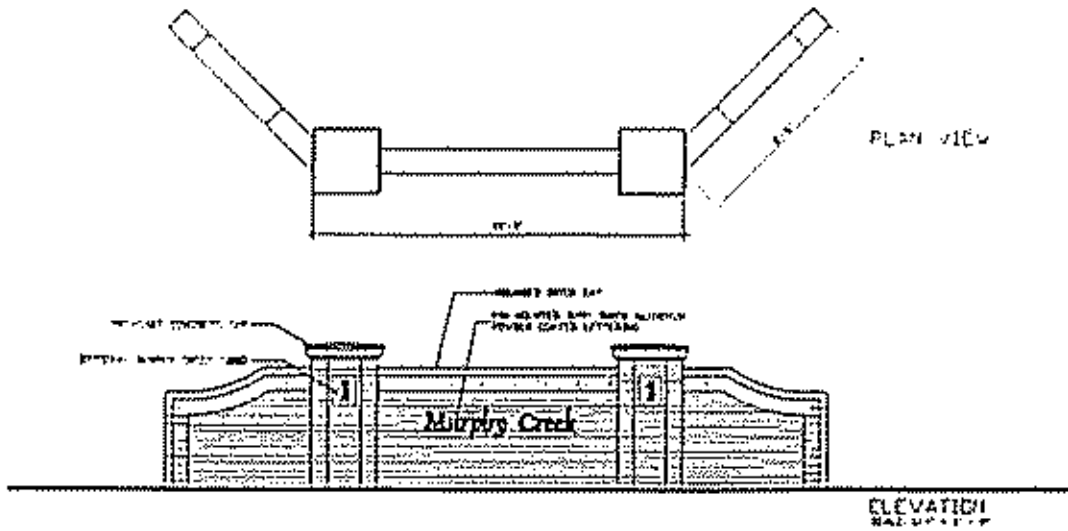


MAIN ENTRY MONUMENTATION West Side
North Elevation

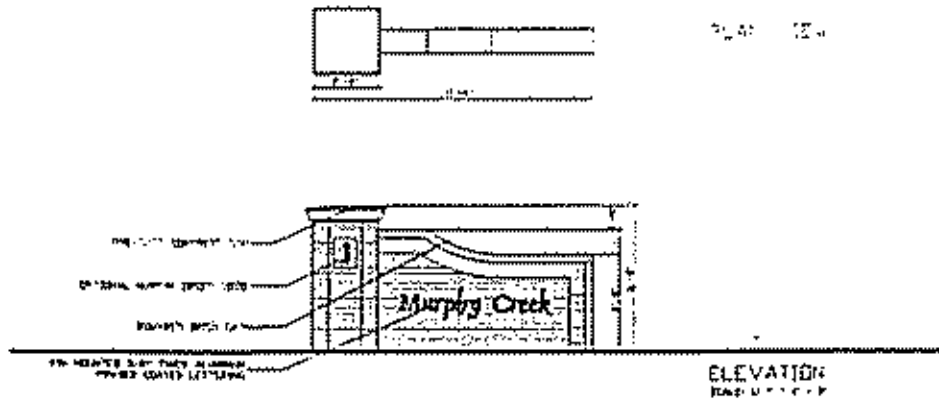


MAIN ENTRY MONUMENTATION West Side
West Elevation

14. PROJECT SIGNAGE - SECONDARY MONUMENTATION

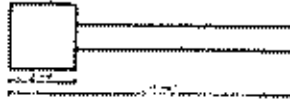


SECONDARY MONUMENTATION
Option A



SECONDARY MONUMENTATION
Option B

Murphy Creek - 1111



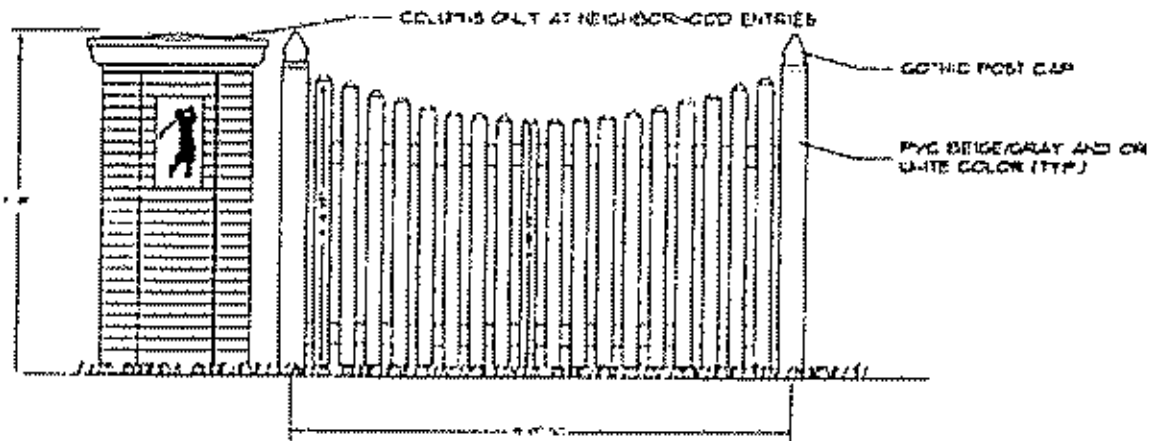
PLAN VIEW



SECONDARY MONUMENTATION
Option C

15. FENCING GRAPHICS

PVC SCREEN 'SPRINGFIELD' FENCE

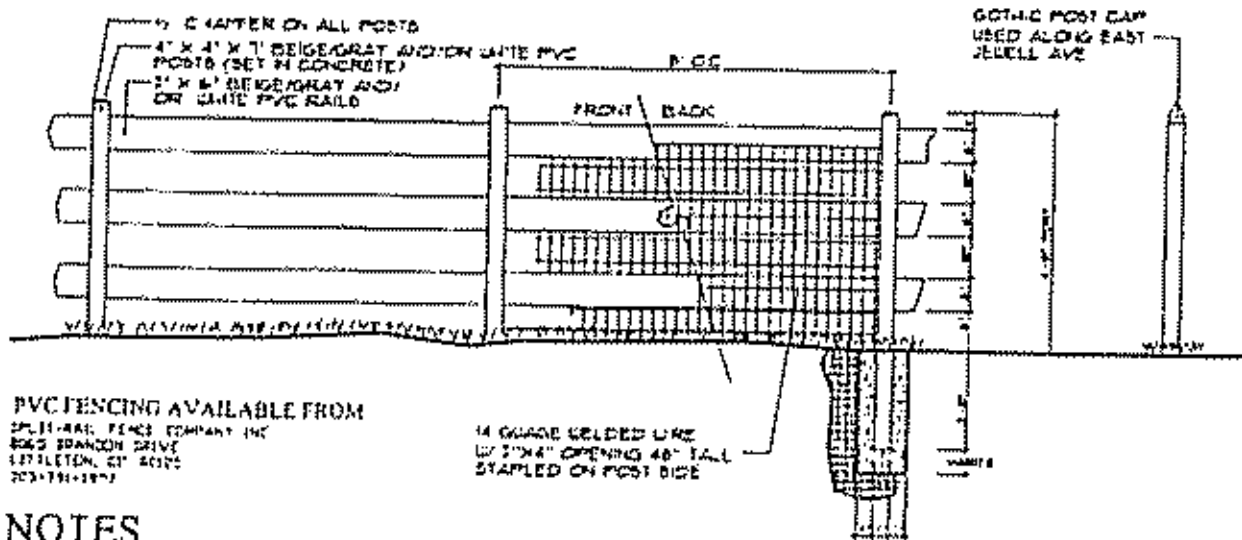


PVC FENCING AVAILABLE FROM
SPLEN-BAIL FENCE COMPANY INC.
8045 BRUNSON DRIVE
LITTLETON, CO 80120
303-751-1597

NOTES

1. LOCATED ADJACENT TO PUBLIC RIGHT-OF-WAYS EXCEPT WHERE INDICATED.
2. PVC FENCE MAY BE BEIGE, GRAY AND/OR WHITE. THE COLOR SELECTION SHALL BE COORDINATED WITH AND AGREED TO BY THE DEVELOPER, BUILDER AND GOLF COURSE DIRECTOR.

PVC OPEN STYLE/GOLF COURSE/INTERIOR LOT LINE FENCE

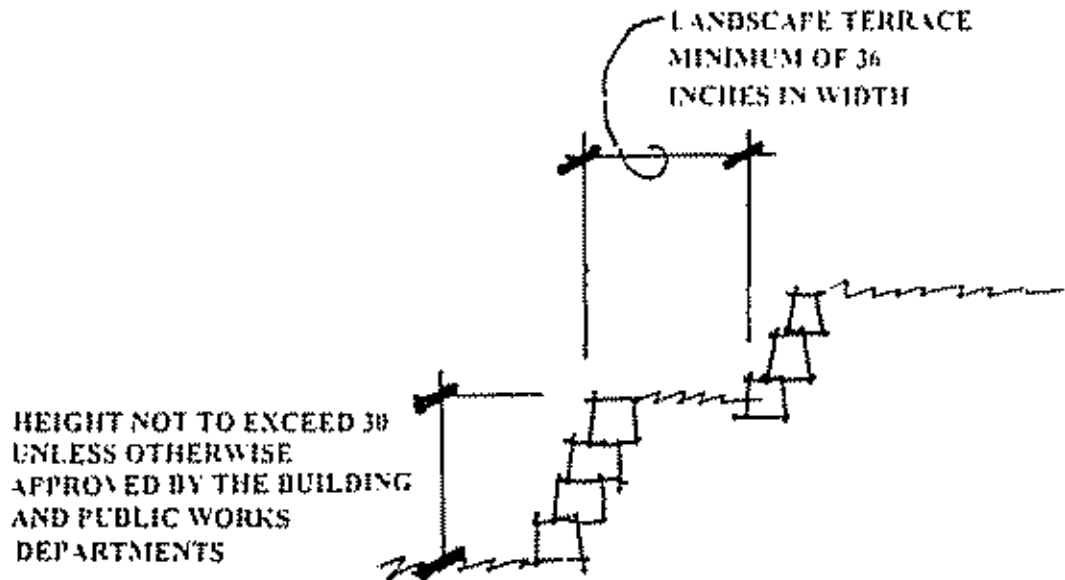


PVC FENCING AVAILABLE FROM
 SPURRIER FENCE COMPANY INC
 8665 SPANCOX DRIVE
 LITTLETON, CO 80120
 303-731-1877

NOTES

1. LOCATED ANYWHERE RESIDENTIAL LOTS BACK TO OPEN SPACE, GOLF COURSE OR DIRECTLY ADJOINING OTHER RESIDENTIAL LOTS.
2. PVC FENCE MAY BE BEIGE, GRAY AND/OR WHITE. THE COLOR SELECTION SHALL BE COORDINATED WITH AND AGREED TO BY THE DEVELOPER/BUILDER AND GOLF COURSE DIRECTOR.

16 RETAINING WALL GRAPHICS

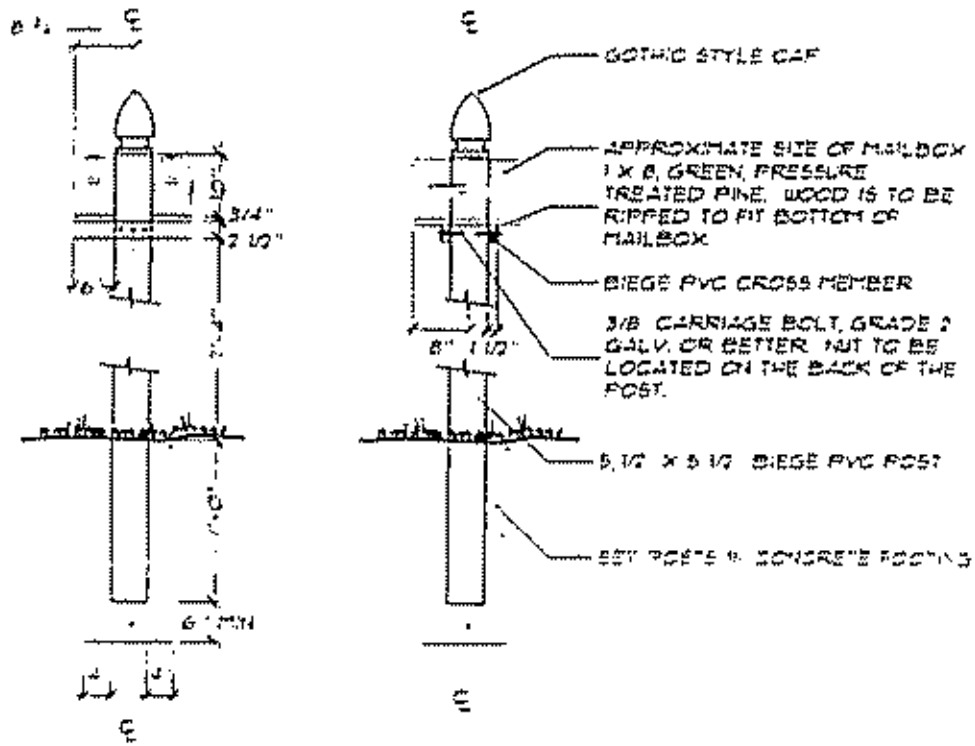


MATERIAL TO COMPLIMENT THE STYLE OF THE ADJACENT BUILDINGS. INCORPORATING THE SAME FINISHES AND COLORS

17. SITE FURNISHINGS GRAPHICS

PVC MAIL BOX DETAIL

N.T.S.



18. PROTOTYPICAL COMMERCIAL AREA LANDSCAPE STRIP

